

Lot 33, DP 1078910
46 FITZROY ST, CARRINGTON

PROPOSED COMMERCIAL DEVELOPMENT

DEVELOPED DESIGN

SEPTEMBER 2021

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FITZROY ST VIEW - INDICATIVE ONLY



DENISON ST VIEW - INDICATIVE ONLY



Department of Planning
and Environment

Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: DA 10689

Approved on: 2 February 2022

Signed: AW Sheet No: 1 of 33

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Rev	Description	Date
H	Issued for Discussion	10.12.2020
I	Issued for Review	15.12.2020
K	Revised for Comment	04.03.2021
L	Issued for Coordination	08.03.2021
M	Floor levels raised	19.03.2021
N	Issued for Planning Approval	23.04.2021
O	Revised for Planning	03.09.2021

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CONCEPT DESIGN

46 FITZROY ST, CARRINGTON - COMMERCIAL DEVELOPMENT

Cover Sheet

PORT OF NEWCASTLE

PROJECT NUMBER 2020-116

DATE SEPTEMBER 2021

STATUS DEVELOPED DESIGN @ A3

DRAWN BY BR

SCALE

REVISION O

DRAWING NO.

A000

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

a) WORKING AT HEIGHTS

1. FALLS, SLIPS, TRIPS
FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES By Owner

If designer has not not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

ANCHORAGE POINTS

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

b) SLIPPERY OR UNEVEN SURFACES

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

LOOSE MATERIALS OR SMALL OBJECTS

2. FALLING OBJECTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

BUILDING COMPONENTS

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

7. CONFINED SPACES

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to:

1990 - it therefore may contain asbestos

1986 - it therefore is likely to contain asbestos

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

EXCAVATION

For buildings with enclosed spaces where maintenance or other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

ENCLOSED SPACES

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

SMALL SPACES

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use has not been identified:

This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

NON-RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use is known: This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work.

Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

BCA NOTES

BCA BUILDING CLASS = 5 (OFFICE)
= 6 (CAFE)

TYPE 'A' CONSTRUCTION REQ'D
SINGLE FIRE COMPARTMENT (<8000sqm)

GREENSTAR

- CAR PARKING = LOWER THAN DCP REQ
- EV CHARGING/PARKING = 5% OR PARKING
- BICYCLE PARKING = 7.5% OF BUILDING POP
- 75% OF SITE LANDSCAPED OR LIGHT ROOFING
- VIEWS AND NATURAL LIGHT IN OFFICE AREAS

GROUND	LEVEL1																				
OFFICE BUILDING - GROUND LEVEL AREA GFA = 838.2sqm POPULATION = 84 (10sqm PP) MALE TOILETS = 4 PANS (1:20 @ 100MALES) = 3 URINALS (1:25 UP TO 50) THEN +1PER 50) FEMALE TOILETS = 5 PANS (1:15 @ 100FEMALES) DISABLED WC = 1 UNISEX (COUNTS FOR 1 MALE & 1 FEMALE PAN) TOTAL TOILETS = 3 MALE PANS + 3 URINALS = 4 FEMALE PANS = 1 UNISEX DDA TOILET CAR PARKING = 17 SPACES (@1:50sqm) BIKE PARKING = 4 SPACES (@1:200sqm) MOTORBIKE PARKING = 1 SPACES (@1:20cars)	OFFICE BUILDING - LEVEL 1 POPULATION = 193 (10sqm PP) MALE TOILETS = 5 PANS (1:20 @ 100MALES) = 3 URINALS (1:25 UP TO 50) THEN +1PER 50) FEMALE TOILETS = 7 PANS (1:15 @ 100FEMALES) DISABLED WC = 1 UNISEX (COUNTS FOR 1 MALE & 1 FEMALE PAN) TOTAL TOILETS = 4 MALE PANS + 4 URINALS = 6 FEMALE PANS = 1 UNISEX DDA TOILET CAR PARKING = 39 SPACES (@1:50sqm) BIKE PARKING = 10 SPACES (@1:200sqm) MOTORBIKE PARKING = 2 SPACES (@1:20cars)																				
LEVEL2	LEVEL3																				
OFFICE BUILDING - LEVEL 2 POPULATION = 197 (10sqm PP) MALE TOILETS = 5 PANS (1:20 @ 100MALES) = 3 URINALS (1:25 UP TO 50) THEN +1PER 50) FEMALE TOILETS = 7 PANS (1:15 @ 100FEMALES) DISABLED WC = 1 UNISEX (COUNTS FOR 1 MALE & 1 FEMALE PAN) TOTAL TOILETS = 4 MALE PANS + 4 URINALS = 6 FEMALE PANS = 1 UNISEX DDA TOILET CAR PARKING = 40 SPACES (@1:50sqm) BIKE PARKING = 10 SPACES (@1:200sqm) MOTORBIKE PARKING = 2 SPACES (@1:20cars)	OFFICE BUILDING - LEVEL 3 POPULATION = 170 (10sqm PP) MALE TOILETS = 4 PANS (1:20 @ 100MALES) = 3 URINALS (1:25 UP TO 50) THEN +1PER 50) FEMALE TOILETS = 6 PANS (1:15 @ 100FEMALES) DISABLED WC = 1 UNISEX (COUNTS FOR 1 MALE & 1 FEMALE PAN) TOTAL TOILETS = 3 MALE PANS + 3 URINALS = 5 FEMALE PANS = 1 UNISEX DDA TOILET CAR PARKING = 32 SPACES (@1:50sqm) BIKE PARKING = 8 SPACES (@1:200sqm) MOTORBIKE PARKING = 2 SPACES (@1:20cars)																				
SUMMARY																					
<table><tr><td>OFFICE BUILDING - TOTALS</td><td>PARKING</td></tr><tr><td>GFA = 6432sqm</td><td>VISITOR = 11</td></tr><tr><td>POPULATION = 644</td><td>SECURE = 23</td></tr><tr><td>SITE AREA = 8685sqm</td><td>STAFF (ext) = 138</td></tr><tr><td>FSR = 0.74:1</td><td>TOTAL = 172 (43 spaces above requirement)</td></tr><tr><td>No. LEVELS = 4</td><td>M. BIKE = 8</td></tr><tr><td>DEEP SOIL LANDSCAPING = 1003sqm (1m min W)</td><td>BICYCLE = 50 (7.9%)</td></tr><tr><td>PERMEABLE CARPARKING = 2000sqm</td><td>Includes - 3 ACCESSIBLE SPACES</td></tr><tr><td></td><td>- 1 SRV LOADING BAY</td></tr><tr><td></td><td>- 8 EV CHARGING BAYS</td></tr></table>		OFFICE BUILDING - TOTALS	PARKING	GFA = 6432sqm	VISITOR = 11	POPULATION = 644	SECURE = 23	SITE AREA = 8685sqm	STAFF (ext) = 138	FSR = 0.74:1	TOTAL = 172 (43 spaces above requirement)	No. LEVELS = 4	M. BIKE = 8	DEEP SOIL LANDSCAPING = 1003sqm (1m min W)	BICYCLE = 50 (7.9%)	PERMEABLE CARPARKING = 2000sqm	Includes - 3 ACCESSIBLE SPACES		- 1 SRV LOADING BAY		- 8 EV CHARGING BAYS
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AREA SUMMARY								
LEVEL	NLA/GLFA	GFA	LOBBY	LIFT/STAIRS	TOILETS	TERRACE	PLANT	(NLA/GFA) EFFICIENCY
GROUND	655sqm	838.2sqm	76sqm	62sqm	108sqm	-	8.7sqm	78%
LEVEL 1	1842sqm	1931.4sqm	55sqm	68sqm	60sqm	35sqm	8.7sqm	95%
LEVEL 2	1838sqm	1965.4sqm	67sqm	68sqm	60sqm	35sqm	8.7sqm	93%
LEVEL 3	1570sqm	1697.5sqm	67sqm	68sqm	60sqm	173sqm	8.7sqm	92%
PLANT	-	-	17sqm	23sqm	-	-	109sqm	-
TOTALS	5905sqm	6432sqm	282sqm	289sqm	288sqm	243sqm	143.8sqm	92%



Department of Planning
and Environment

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Signed: AW Sheet No: 2 of 33

CONCEPT DESIGN

46 FITZROY ST, CARRINGTON - COMMERCIAL DEVELOPMENT

Notes & Schedules

STATUS DEVELOPED DESIGN @ A3

DRAWN BY BR

SCALE

PORT OF NEWCASTLE

PROJECT NUMBER 2020-116

REVISION O

DATE SEPTEMBER 2021

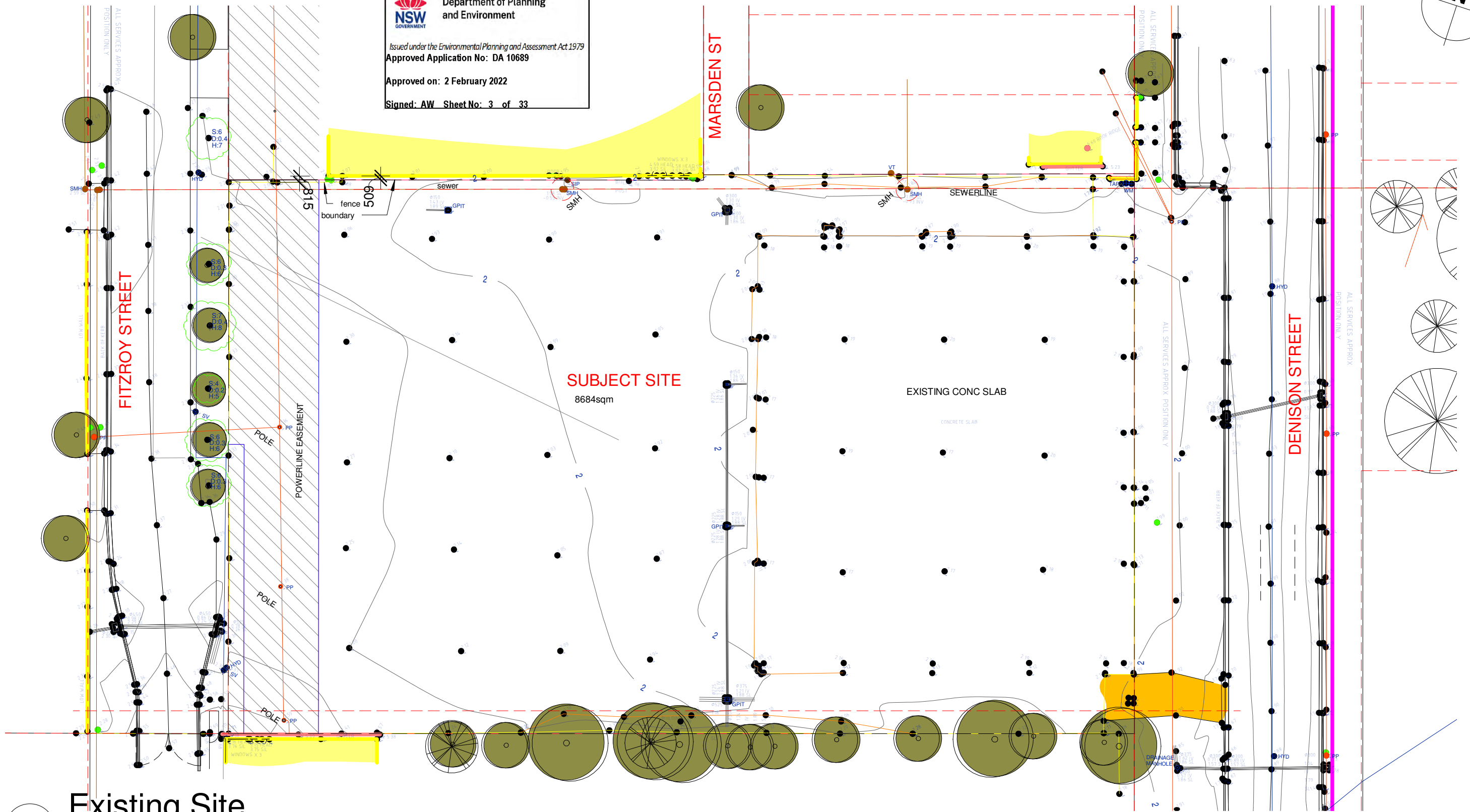
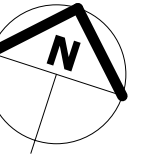
DRAWING NO.

A001

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Rev	Description	Date
A	Site Options	07.02.2020
N	Issued for Planning Approval	23.04.2021
O	Revised for Planning	03.09.2021

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1 Existing Site
1 : 500

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G	Concept Design	12.11.2020
I	Issued for Review	15.12.2020
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CONCEPT DESIGN

46 FITZROY ST, CARRINGTON - COMMERCIAL DEVELOPMENT

Existing Conditions

PORT OF NEWCASTLE

PROJECT NUMBER 2020-116

DATE SEPTEMBER 2021

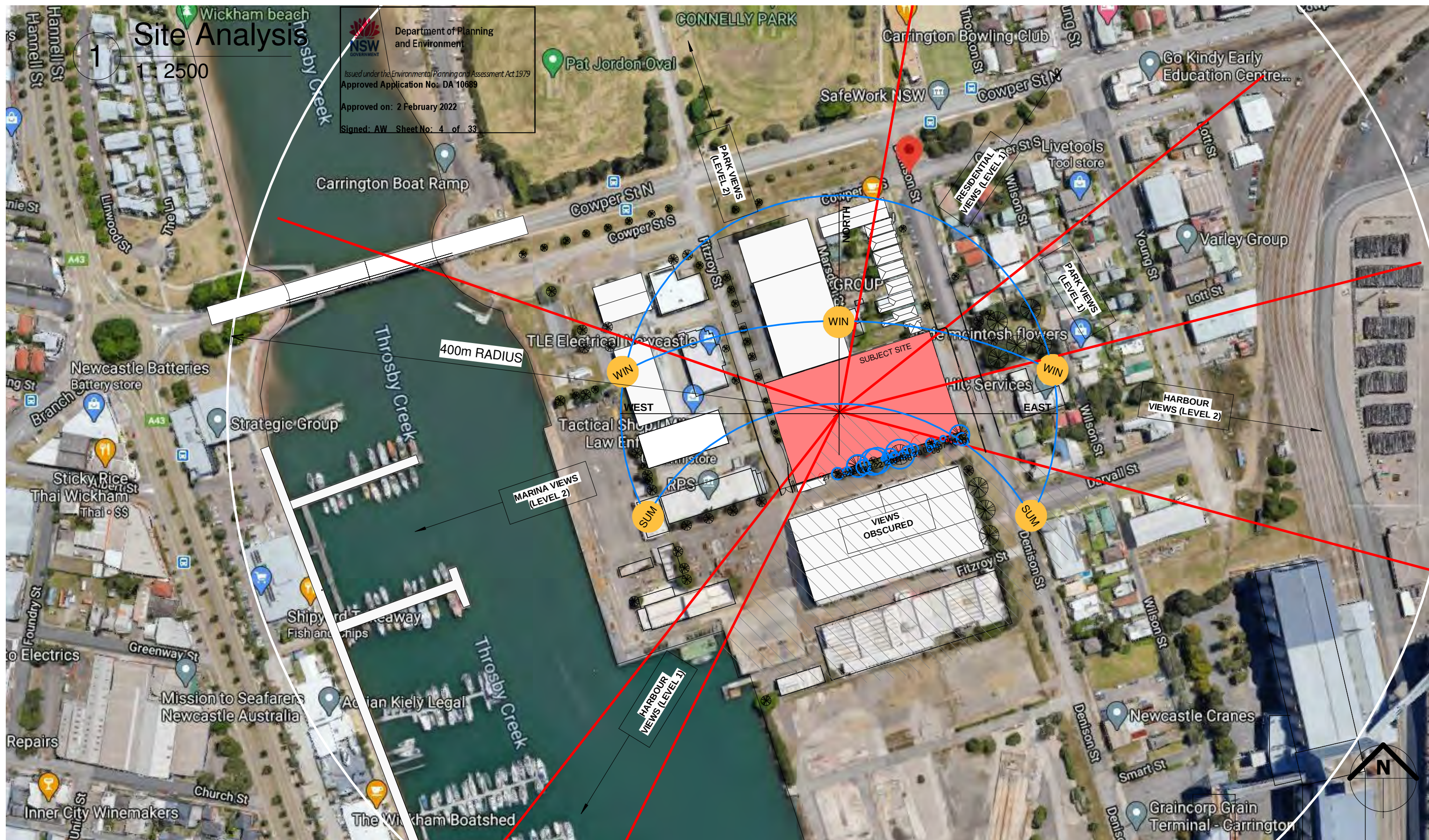
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SCALE 1 : 500

REVISION O

DRAWING NO. **A004**



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CONCEPT DESIGN

46 FITZROY ST, CARRINGTON - COMMERCIAL DEVELOPMENT

Site Analysis

PORT OF NEWCASTLE

PROJECT NUMBER

DATE

2020-116

SEPTEMBER 2021

STATUS DEVELOPED DESIGN @ A3

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SCALE 1 : 2500

REVISION O

DRAWING NO.

A006

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Context Plan

1 : 750

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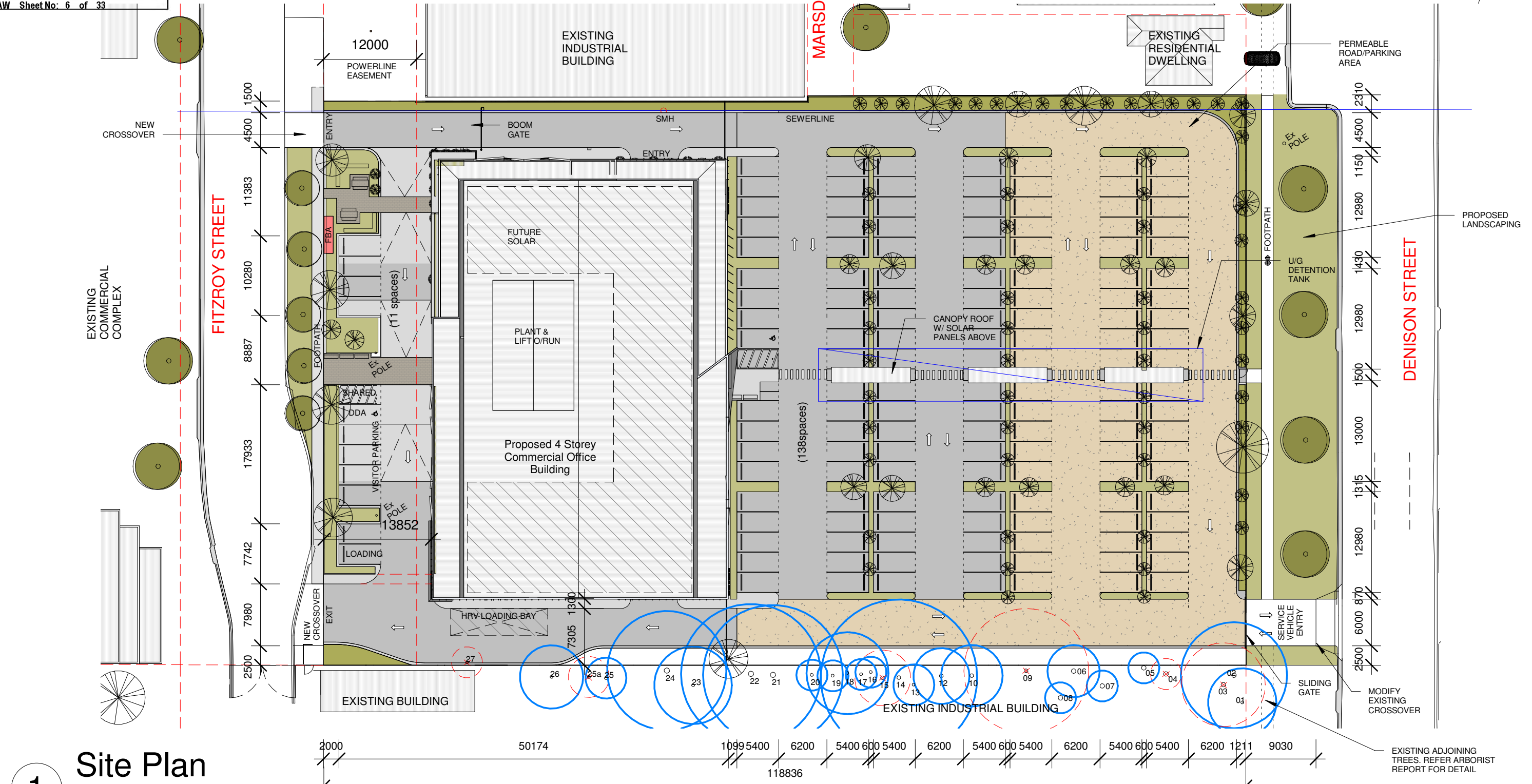
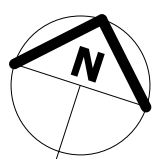
46 FITZROY ST, CARRINGTON - COMMERCIAL DEVELOPMENT

Site Context Plan

PORT OF NEWCASTLE
PROJECT NUMBER 2020-116
DATE SEPTEMBER 2021

STATUS DEVELOPED DESIGN @ A3
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SCALE 1 : 750
REVISION O
DRAWING NO.

A007



1

Site Plan

1 : 500

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CONCEPT DESIGN

46 FITZROY ST, CARRINGTON - COMMERCIAL DEVELOPMENT

Site Plan

PORT OF NEWCASTLE

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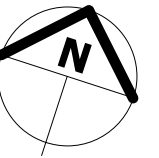
SCALE 1 : 500

REVISION O

DRAWING NO.

A100

M. BIKE = 8
BICYCLE = 50 (7.9%)
 Includes - 3 ACCESSIBLE SPACES
 - 1 SRV LOADING BAY
 - 8 EV CHARGING BAYS

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1

Site Ground Plan

1 : 500

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CONCEPT DESIGN

46 FITZROY ST. CARRINGTON - COMMERCIAL DEVELOPMENT

Site Ground Plan

PORT OF NEWCASTLE

PROJECT NUMBER

DATE _____

2020-116

SEPTEMBER 2021

STATUS	DEVELOPED DESIGN @ A3
--------	-----------------------

DRAWN BY BR

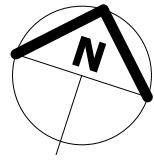
SCALE

REVISION 0

DRAWING NO.

1 : 500

A101



OFFICE BUILDING - GROUND LEVEL
AREA GFA = 838.2sqm
POPULATION = 84 (10sqm PP)

MALE TOILETS = 4 PANS (1:20 @ 100MALES)
= 3 URINALS (1:25 UP TO 50)
THEN +1PER 50)

FEMALE TOILETS = 5 PANS (1:15 @ 100FEMALES)

DISABLED WC = 1 UNISEX (COUNTS FOR 1 MALE
& 1 FEMALE PAN)

TOTAL TOILETS = 3 MALE PANS + 3 URINALS
= 4 FEMALE PANS
= 1 UNISEX DDA TOILET

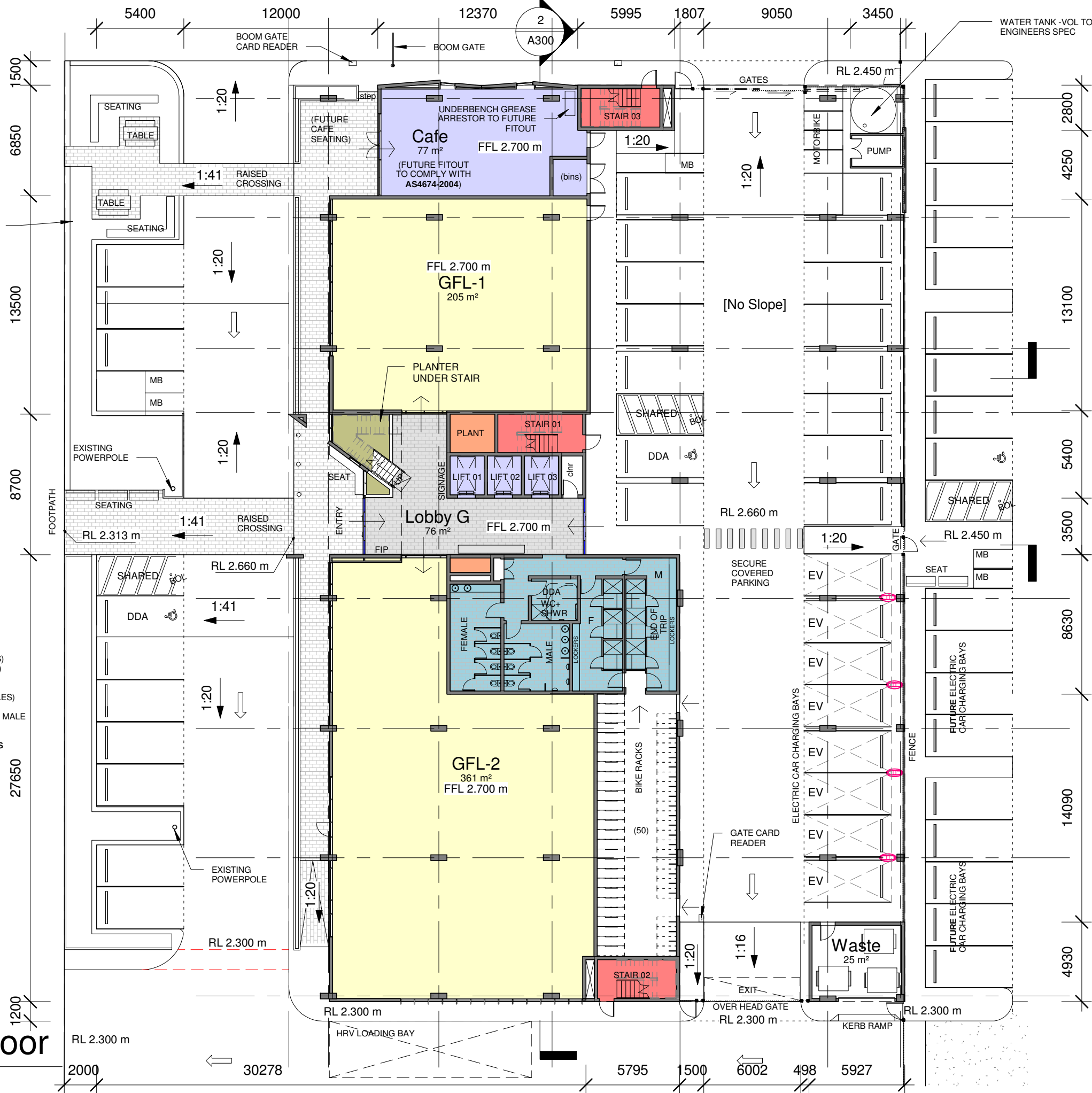
CAR PARKING = 17 SPACES (@1:50sqm)

BIKE PARKING = 4 SPACES (@1:200sqm)

MOTORBIKE PARKING = 1 SPACES (@1:20cars)



Ground Floor
1 : 250



Rev	Description	Date
D	Concept Plans for Review	20.02.2020
E	Information only	03.07.2020
F	Proposed Site Concept	26.10.2020
G	Concept Design	12.11.2020
H	Issued for Discussion	10.12.2020
I	Issued for Review	15.12.2020
J	For Coordination Only	04.02.2021
K	Revised for Comment	04.03.2021
L	Issued for Coordination	08.03.2021
M	Floor levels raised	19.03.2021
N	Issued for Planning Approval	23.04.2021
O	Revised for Planning	03.09.2021

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CONCEPT DESIGN

46 FITZROY ST, CARRINGTON -
COMMERCIAL DEVELOPMENT

PORT OF NEWCASTLE

Ground Floor Plan

PROJECT NUMBER 2020-116

DATE SEPTEMBER 2021

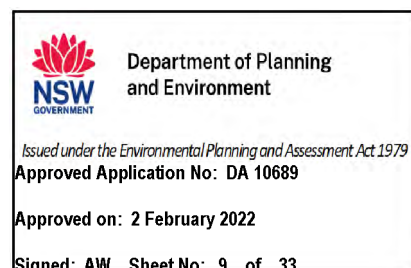
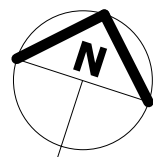
STATUS DEVELOPED DESIGN @ A3

DRAWN BY BR

SCALE 1 : 250

DRAWING NO.

REVISION O **A110**



OFFICE BUILDING - LEVEL 1
POPULATION = 193 (10sqm PP)

MALE TOILETS = 5 PANS (1:20 @ 100MALES)
= 3 URINALS (1:25 UP TO 50) THEN +1PER 50)

FEMALE TOILETS = 7 PANS (1:15 @ 100FEMALES)

DISABLED WC = 1 UNISEX (COUNTS FOR 1 MALE & 1 FEMALE PAN)

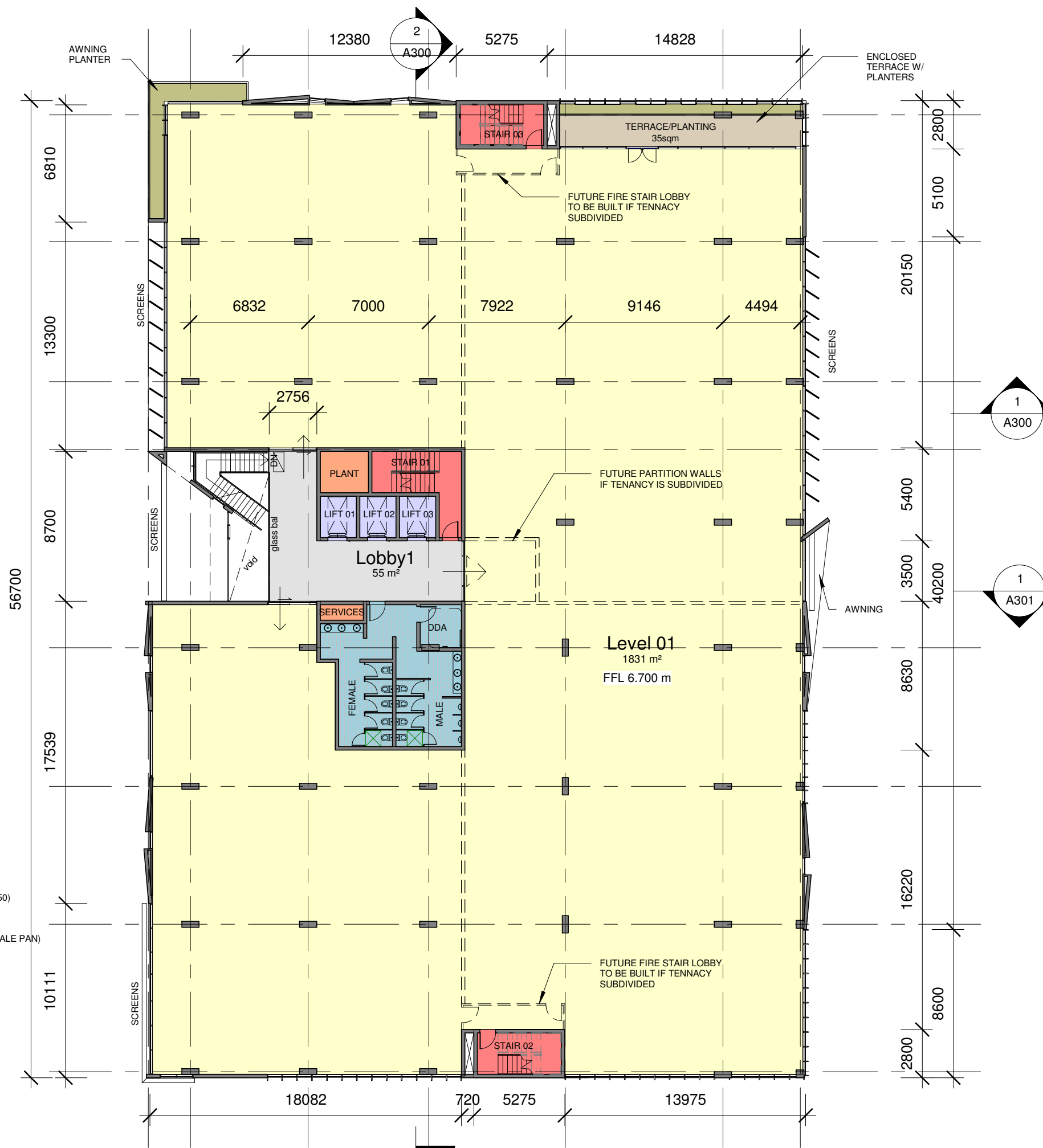
TOTAL TOILETS = 4 MALE PANS + 4 URINALS
= 6 FEMALE PANS
= 1 UNISEX DDA TOILET

CAR PARKING = 39 SPACES (@1:50sqm)

BIKE PARKING = 10 SPACES (@1:200sqm)

MOTORBIKE PARKING = 2 SPACES (@1:20cars)

1 **Level 01**
1 : 250



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Rev	Description	Date
C	Draft Concept Plans	18.02.2020
D	Concept Plans for Review	20.02.2020
F	Proposed Site Concept	26.10.2020
G	Concept Design	12.11.2020
H	Issued for Discussion	10.12.2020
I	Issued for Review	15.12.2020
J	For Coordination Only	04.02.2021
K	Revised for Comment	04.03.2021
L	Issued for Coordination	08.03.2021
M	Floor levels raised	19.03.2021
N	Issued for Planning Approval	23.04.2021
O	Revised for Planning	03.09.2021

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CONCEPT DESIGN

46 FITZROY ST, CARRINGTON -
COMMERCIAL DEVELOPMENT

PORT OF NEWCASTLE

First Floor Plan

PROJECT NUMBER 2020-116

DATE SEPTEMBER 2021

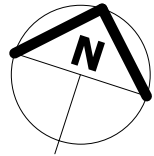
STATUS DEVELOPED DESIGN @ A3

DRAWN BY BR

SCALE 1 : 250

DRAWING NO.

REVISION 0 **A111**



Department of Planning
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Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: DA 10689

Approved on: 2 February 2022

Signed: AW Sheet No: 10 of 33

OFFICE BUILDING - LEVEL 2
POPULATION = 197 (10sqm PP)

MALE TOILETS = 5 PANS (1:20 @ 100MALES)
= 3 URINALS (1:25 UP TO 50) THEN +1PER 50)

FEMALE TOILETS = 7 PANS (1:15 @ 100FEMALES)

DISABLED WC = 1 UNISEX (COUNTS FOR 1 MALE & 1 FEMALE PAN)

TOTAL TOILETS = 4 MALE PANS + 4 URINALS
= 6 FEMALE PANS
= 1 UNISEX DDA TOILET

CAR PARKING = 40 SPACES (@1:50sqm)

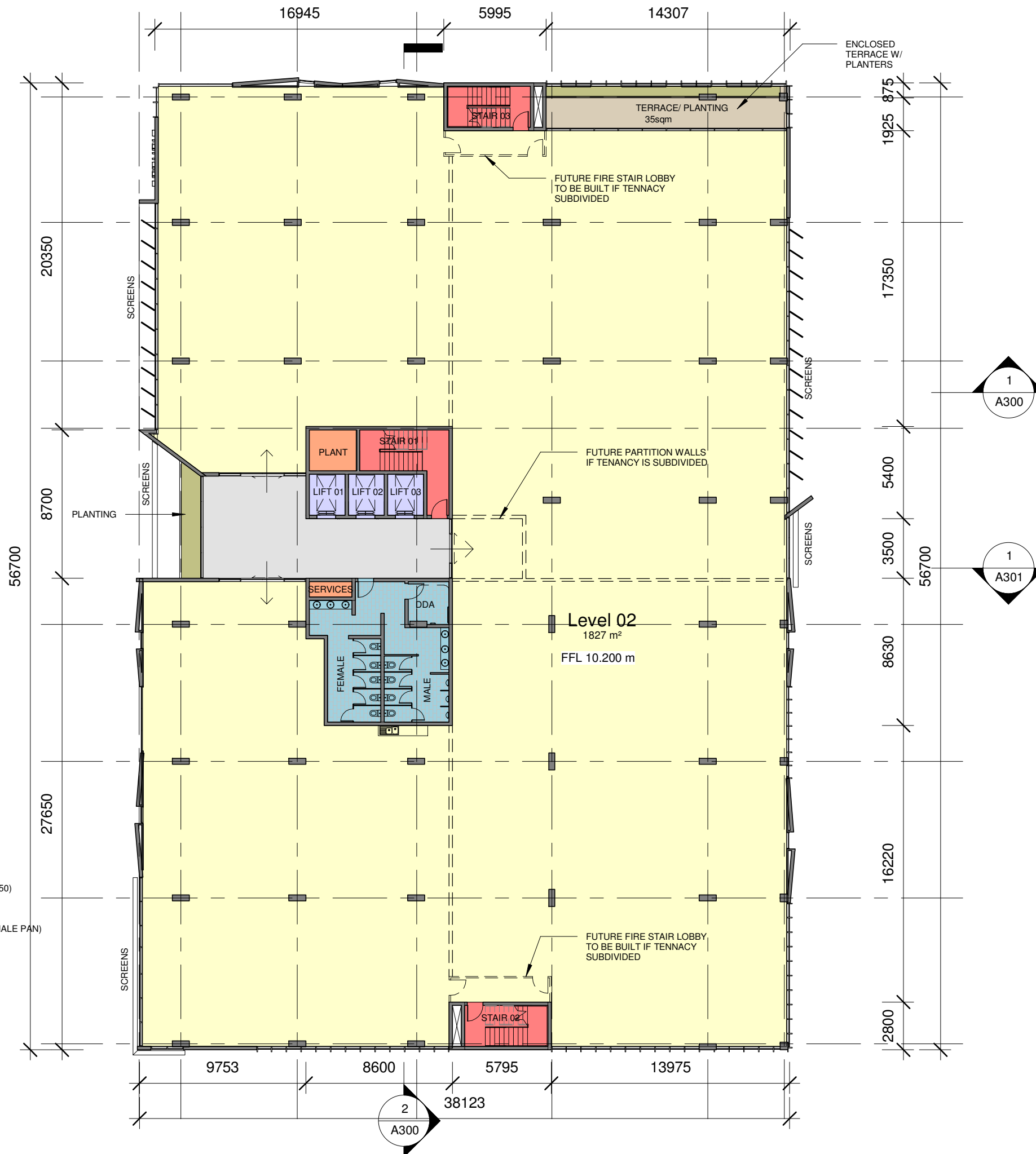
BIKE PARKING = 10 SPACES (@1:200sqm)

MOTORBIKE PARKING = 2 SPACES (@1:20cars)

1

Level 02

1 : 250



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Rev	Description	Date
G	Concept Design	12.11.2020
H	Issued for Discussion	10.12.2020
I	Issued for Review	15.12.2020
J	For Coordination Only	04.02.2021
K	Revised for Comment	04.03.2021
L	Issued for Coordination	08.03.2021
M	Floor levels raised	19.03.2021
N	Issued for Planning Approval	23.04.2021
O	Revised for Planning	03.09.2021

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CONCEPT DESIGN

46 FITZROY ST, CARRINGTON -
COMMERCIAL DEVELOPMENT

PORT OF NEWCASTLE

Second Floor Plan

PROJECT NUMBER 2020-116

DATE SEPTEMBER 2021

STATUS DEVELOPED DESIGN @ A3

DRAWN BY BR

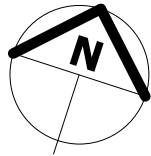
SCALE 1 : 250

DRAWING NO.

REVISION

0

A112





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Approved on: 2 February 2022

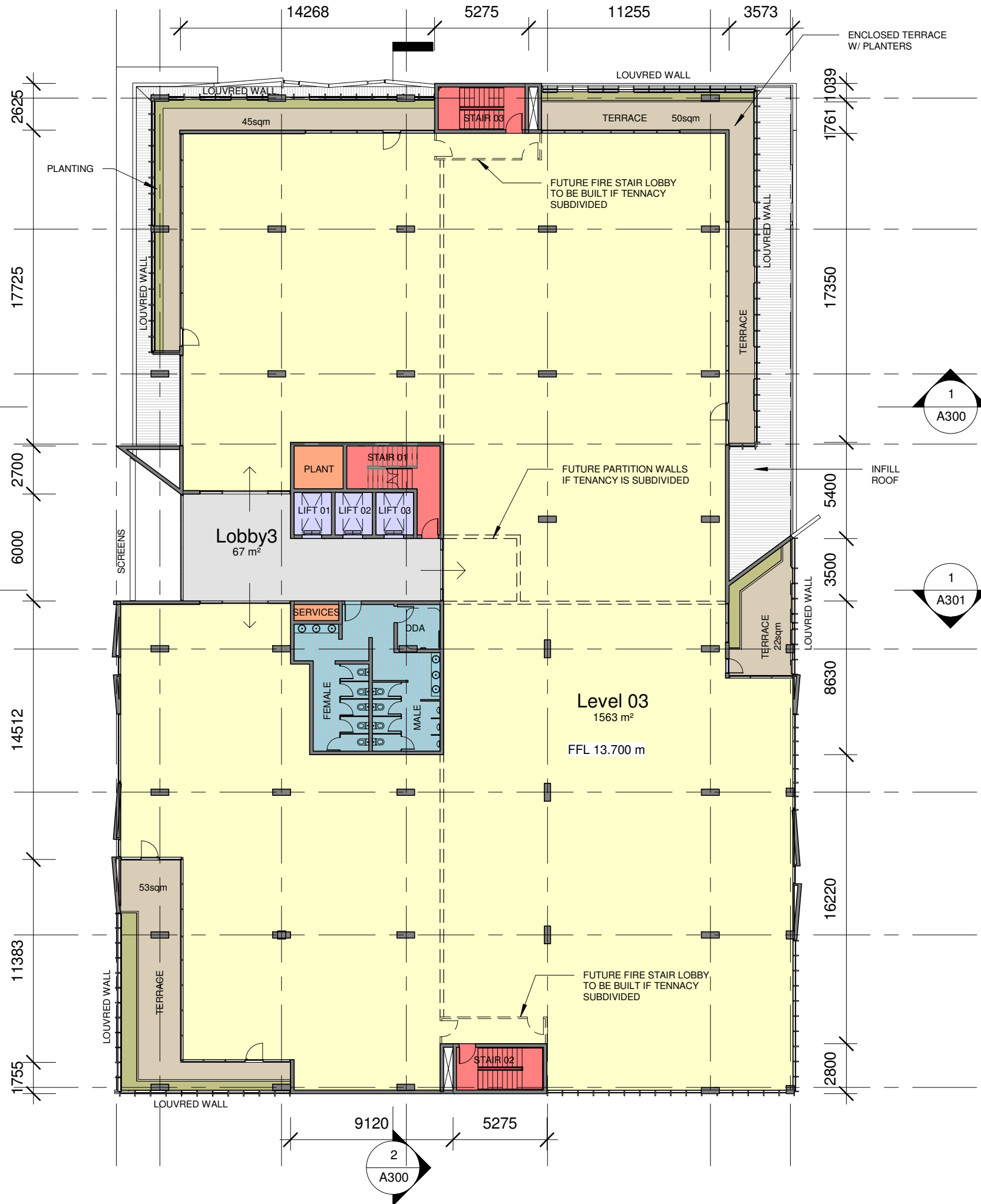
Signed: AW Sheet No: 11 of 33

- OFFICE BUILDING - LEVEL 3**
POPULATION = 170 (10sqm PP)
- MALE TOILETS** = 4 PANS (1:20 @ 100MALES)
= 3 URINALS (1:25 UP TO 50) THEN +1PER 50)
- FEMALE TOILETS** = 6 PANS (1:15 @ 100FEMALES)
- DISABLED WC** = 1 UNISEX (COUNTS FOR 1 MALE & 1 FEMALE PAN)
- TOTAL TOILETS** = 3 MALE PANS + 3 URINALS
= 5 FEMALE PANS
= 1 UNISEX DDA TOILET
- CAR PARKING** = 32 SPACES (@1:50sqm)
- BIKE PARKING** = 8 SPACES (@1:200sqm)
- MOTORBIKE PARKING** = 2 SPACES (@1:20cars)

1

Level 03

1 : 250



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Rev	Description	Date
G	Concept Design	12.11.2020
H	Issued for Discussion	10.12.2020
I	Issued for Review	15.12.2020
J	For Coordination Only	04.02.2021
K	Revised for Comment	04.03.2021
L	Issued for Coordination	08.03.2021
M	Floor levels raised	19.03.2021
N	Issued for Planning Approval	23.04.2021
O	Revised for Planning	03.09.2021

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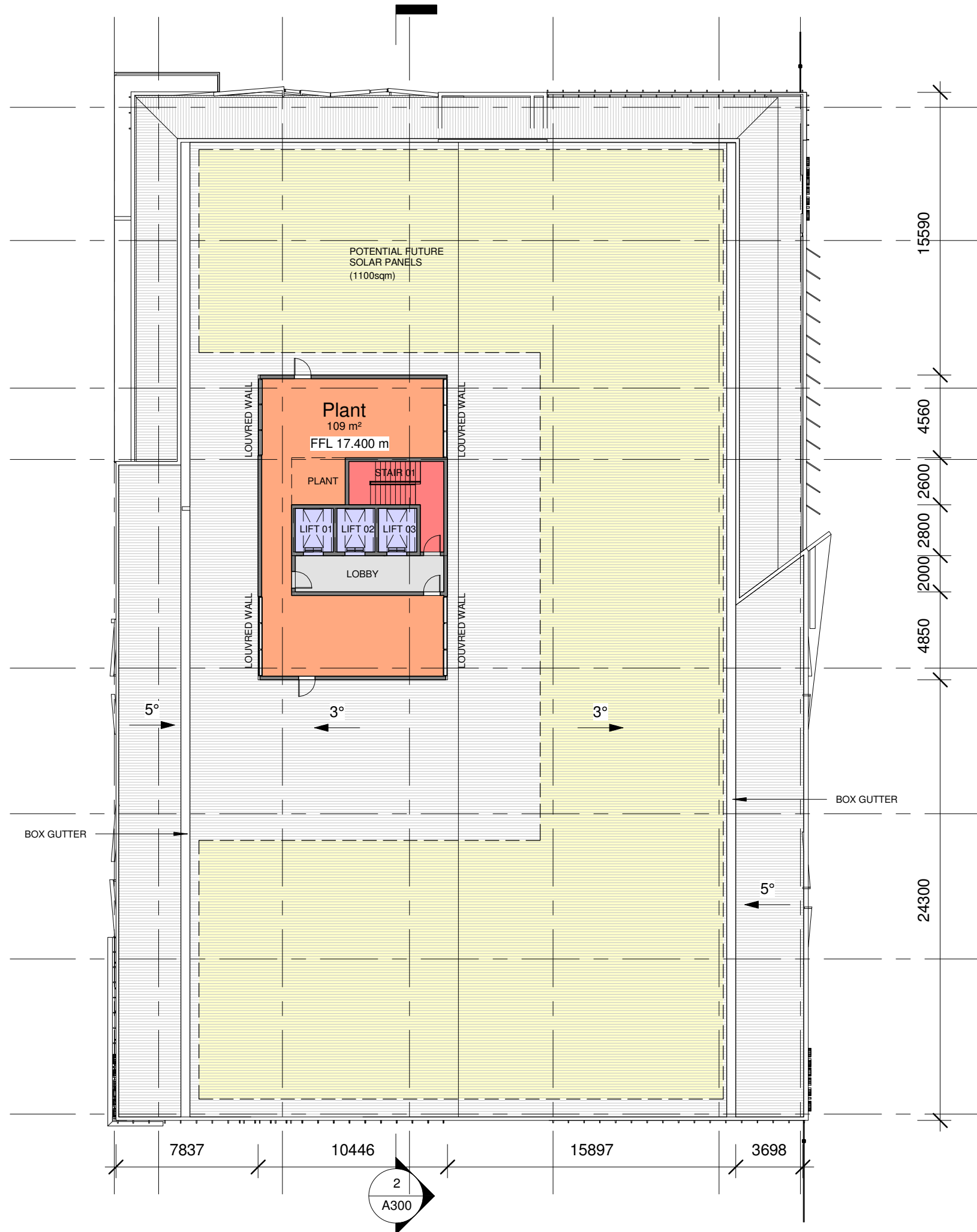
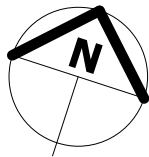
CONCEPT DESIGN

46 FITZROY ST, CARRINGTON - COMMERCIAL DEVELOPMENT

PORT OF NEWCASTLE

Third Floor Plan

PROJECT NUMBER	2020-116
DATE	SEPTEMBER 2021
STATUS	DEVELOPED DESIGN @ A3
DRAWN BY	BR
SCALE	1 : 250
DRAWING NO.	
REVISION	O A113



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Approved on: 2 February 2022

Signed: AW Sheet No: 12 of 33

1 **Plant**
1 : 250

Rev	Description	Date
G	Concept Design	12.11.2020
H	Issued for Discussion	10.12.2020
I	Issued for Review	15.12.2020
J	For Coordination Only	04.02.2021
K	Revised for Comment	04.03.2021
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N	Issued for Planning Approval	23.04.2021
O	Revised for Planning	03.09.2021

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CONCEPT DESIGN

46 FITZROY ST, CARRINGTON -
COMMERCIAL DEVELOPMENT

PORT OF NEWCASTLE

Roof Plan

PROJECT NUMBER 2020-116

DATE SEPTEMBER 2021

STATUS DEVELOPED DESIGN @ A3

DRAWN BY BR

SCALE 1 : 250

DRAWING NO.

REVISION

0 **A114**



1

Fitzroy St

1 : 350



2

Denison St

1 : 350



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Approved Application No: DA 10689

Approved on: 2 February 2022

Signed: AW Sheet No: 13 of 33

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Rev	Description	Date
L	Issued for Coordination	08.03.2021
M	Floor levels raised	19.03.2021
N	Issued for Planning Approval	23.04.2021
O	Revised for Planning	03.09.2021



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CONCEPT DESIGN

46 FITZROY ST, CARRINGTON - COMMERCIAL DEVELOPMENT

Street Elevations

PORT OF NEWCASTLE

PROJECT NUMBER

DATE

2020-116

SEPTEMBER 2021

STATUS DEVELOPED DESIGN @ A3

DRAWN BY BR

SCALE 1 : 350

REVISION O

DRAWING NO.

A200

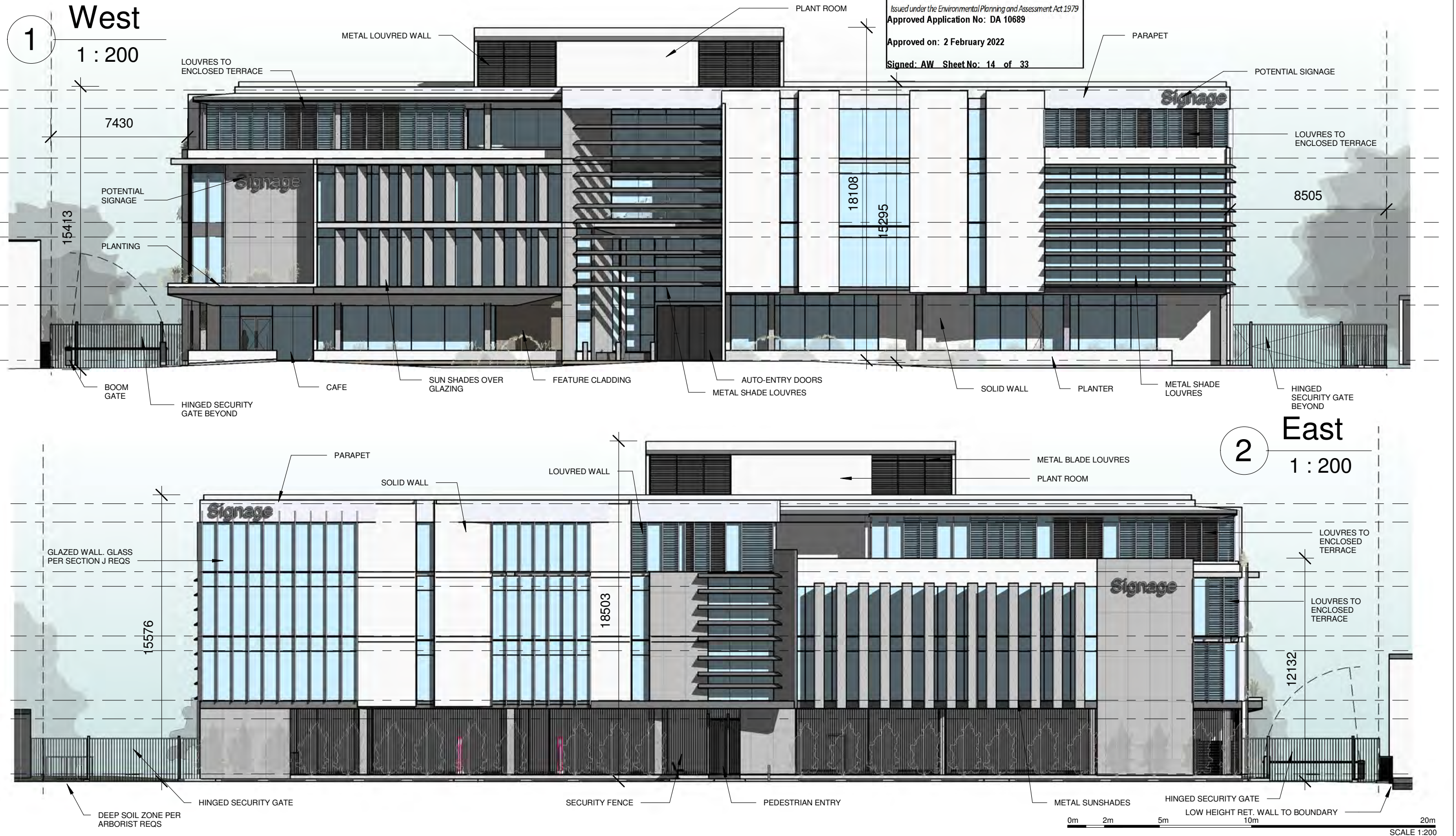


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Signed: AW Sheet No: 14 of 33



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Rev	Description	Date
A	Site Options	07.02.2020
G	Concept Design	12.11.2020
K	Revised for Comment	04.03.2021
L	Issued for Coordination	08.03.2021
M	Floor levels raised	19.03.2021
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O	Revised for Planning	03.09.2021



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CONCEPT DESIGN

46 FITZROY ST, CARRINGTON - COMMERCIAL DEVELOPMENT

Elevations

PORT OF NEWCASTLE

PROJECT NUMBER

DATE

2020-116

SEPTEMBER 2021

STATUS DEVELOPED DESIGN @ A3

DRAWN BY BR

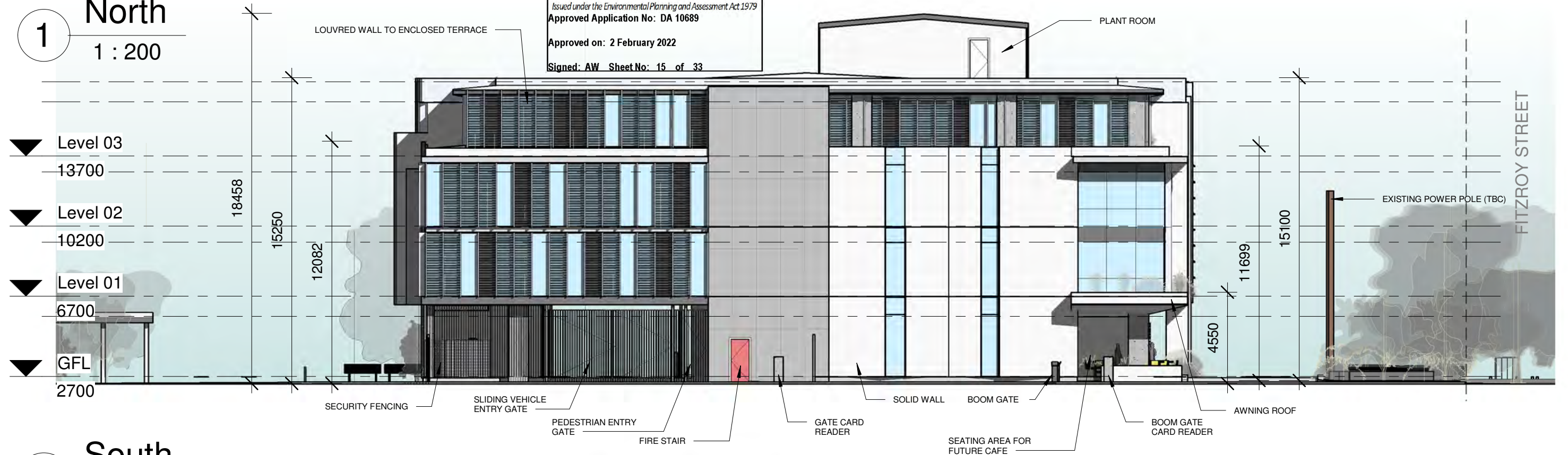
SCALE 1 : 200

REVISION O

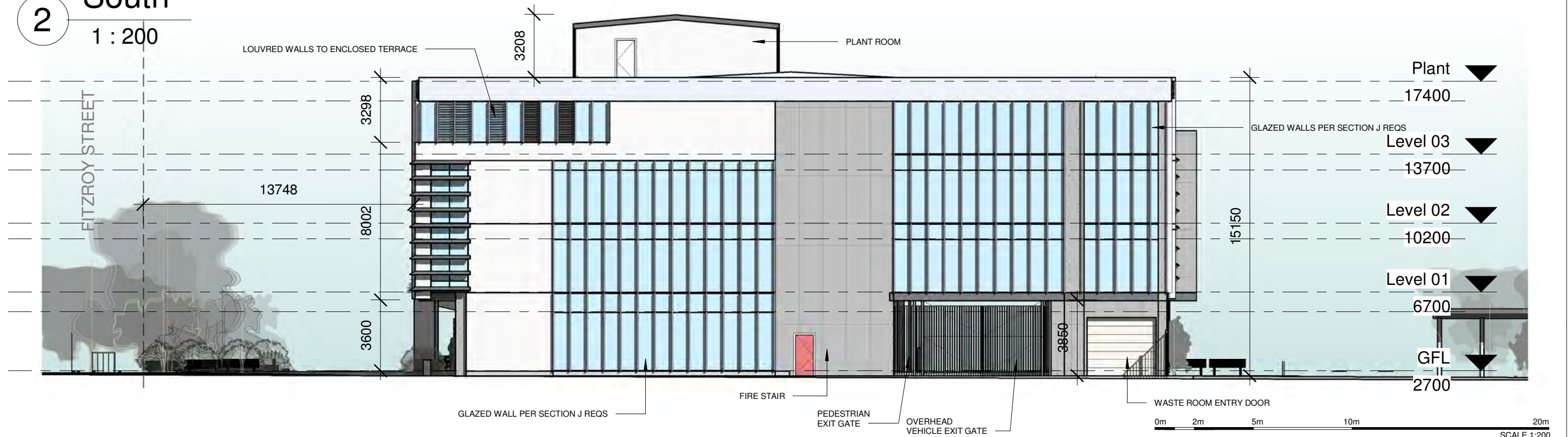
DRAWING NO.

A201

1 North 1 : 200



2 South 1 : 200



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G	Concept Design	12.11.2020
K	Revised for Comment	04.03.2021
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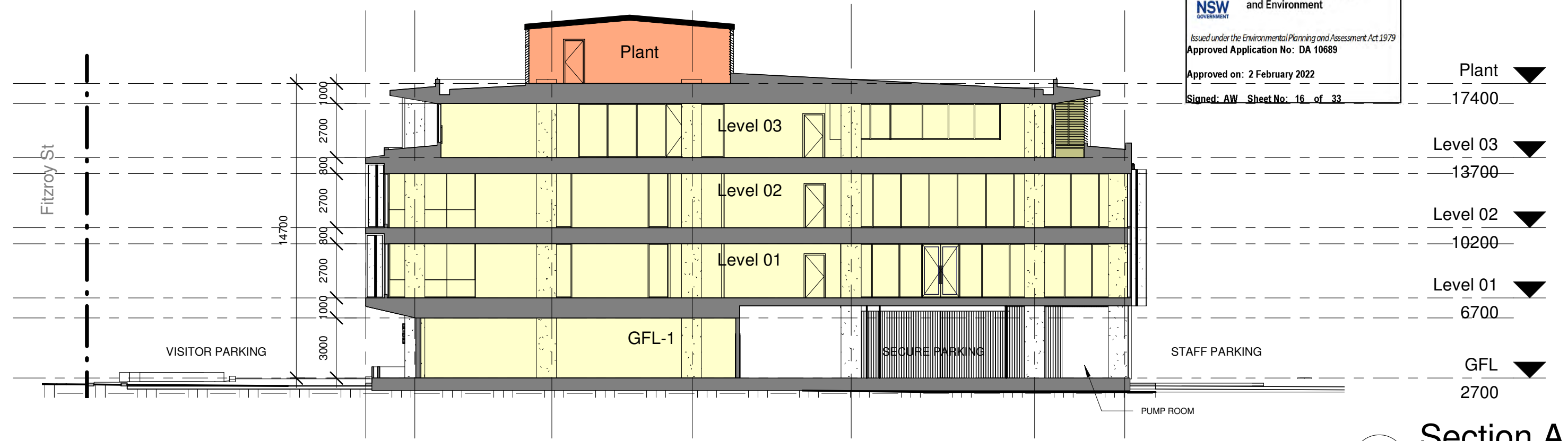
CONCEPT DESIGN

46 FITZROY ST, CARRINGTON - COMMERCIAL DEVELOPMENT

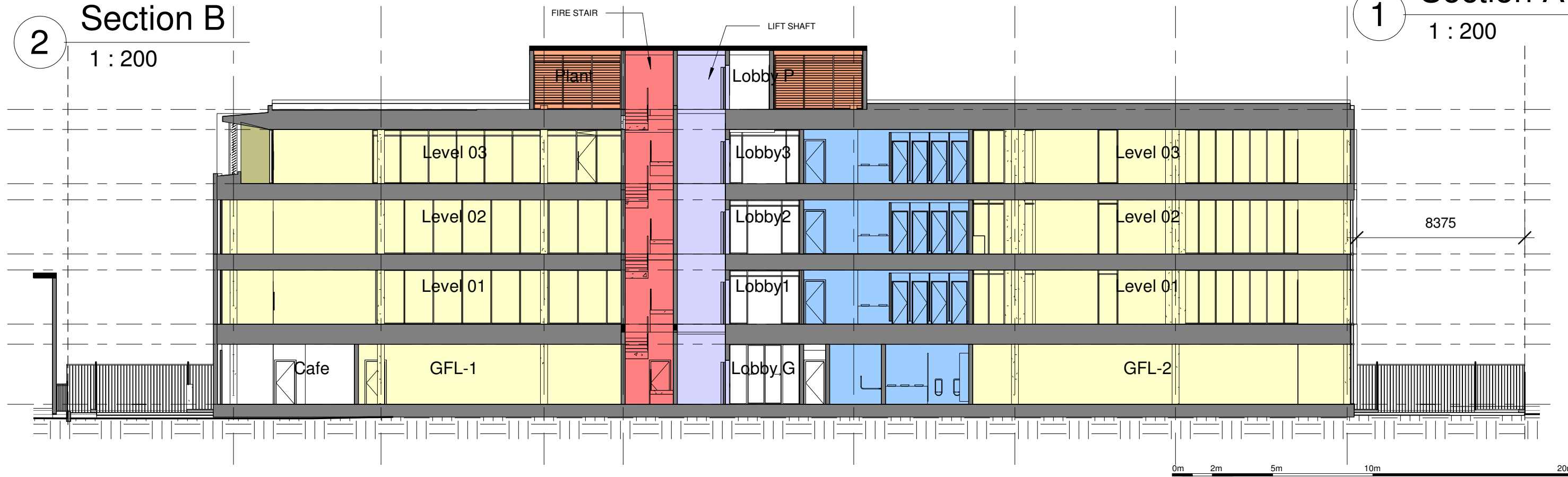
Elevations

PORT OF NEWCASTLE
 PROJECT NUMBER 2020-116
 DATE SEPTEMBER 2021

STATUS DEVELOPED DESIGN @ A3
 DRAWN BY BR
 SCALE 1 : 200
 REVISION O
 DRAWING NO. **A202**



Section A
1 : 200



Section B
1 : 200

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Rev	Description	Date
A	Site Options	07.02.2020
G	Concept Design	12.11.2020
K	Revised for Comment	04.03.2021
L	Issued for Coordination	08.03.2021
M	Floor levels raised	19.03.2021
N	Issued for Planning Approval	23.04.2021
O	Revised for Planning	03.09.2021

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CONCEPT DESIGN

46 FITZROY ST, CARRINGTON - COMMERCIAL DEVELOPMENT

Sections

PORT OF NEWCASTLE

PROJECT NUMBER 2020-116

DATE SEPTEMBER 2021

STATUS DEVELOPED DESIGN @ A3

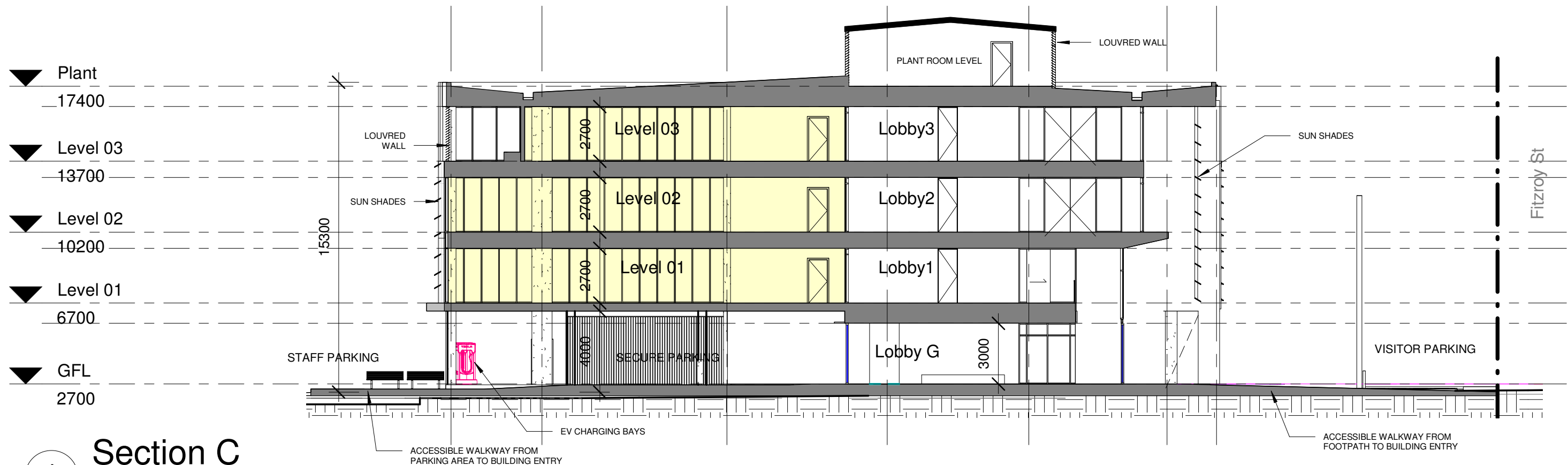
DRAWN BY BR

SCALE 1 : 200

REVISION O

DRAWING NO.

A300



0m 2m 5m 10m 20m
SCALE 1:200

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Rev	Description	Date
G	Concept Design	12.11.2020
K	Revised for Comment	04.03.2021
L	Issued for Coordination	08.03.2021
M	Floor levels raised	19.03.2021
N	Issued for Planning Approval	23.04.2021
O	Revised for Planning	03.09.2021



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CONCEPT DESIGN

46 FITZROY ST, CARRINGTON - COMMERCIAL DEVELOPMENT

Sections

PORT OF NEWCASTLE

PROJECT NUMBER

DATE

2020-116

SEPTEMBER 2021

STATUS DEVELOPED DESIGN @ A3

DRAWN BY BR

SCALE 1 : 200

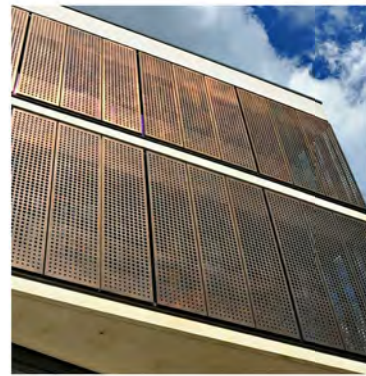
REVISION O

DRAWING NO.

A301



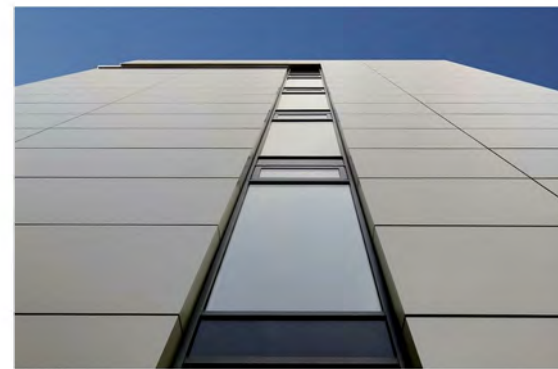
METAL DECK ROOFING. LIGHT



PERFORATED METAL LOUVRE BLADES



CURTAIN WALL GLAZING SYSTEM



PREFINISHED COMPOSITE SHEET CLADDING. WHITE



METAL & GLASS OPERABLE LOUVRES



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Approved Application No: DA 10689

Approved on: 2 February 2022

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PREFINISHED CFC CLADDING PANELS



PREFINISHED FEATURE SOFFIT LINING



FEATURE MASONRY CONSTRUCTION



OFF-FORM CONCRETE



FIXED METAL LOUVRE BLADES



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Rev	Description	Date
N	Issued for Planning Approval	23.04.2021
O	Revised for Planning	03.09.2021

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PORT of
NEWCASTLE

TEAM



RAMBOLL



NORTHROP

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CONCEPT DESIGN

46 FITZROY ST, CARRINGTON - COMMERCIAL DEVELOPMENT

Materials Schedule

PORT OF NEWCASTLE

PROJECT NUMBER 2020-116

DATE SEPTEMBER 2021

STATUS DEVELOPED DESIGN @ A3

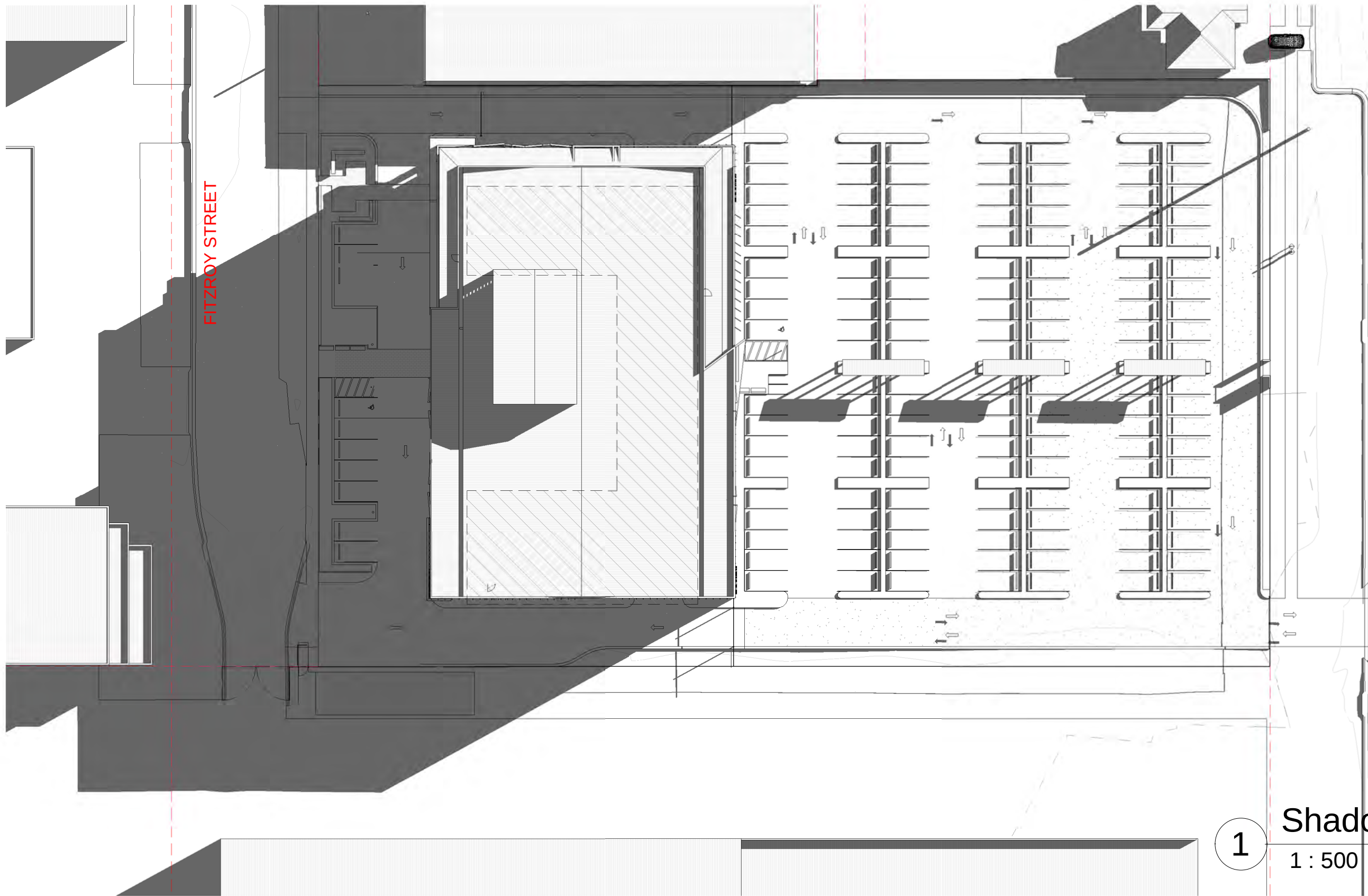
DRAWN BY BR

SCALE

REVISION O

DRAWING NO.

A600



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Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: DA 10689
Approved on: 2 February 2022
Signed: AW Sheet No: 19 of 33

1 Shadows - 0900
1 : 500

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Rev	Description	Date
A	Site Options	07.02.2020
K	Revised for Comment	04.03.2021
L	Issued for Coordination	08.03.2021
N	Issued for Planning Approval	23.04.2021
O	Revised for Planning	03.09.2021

CLIENT **PORT of NEWCASTLE**

TEAM **RAMBOLL**

NORTHROP

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CONCEPT DESIGN

46 FITZROY ST, CARRINGTON - COMMERCIAL DEVELOPMENT

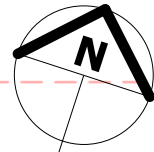
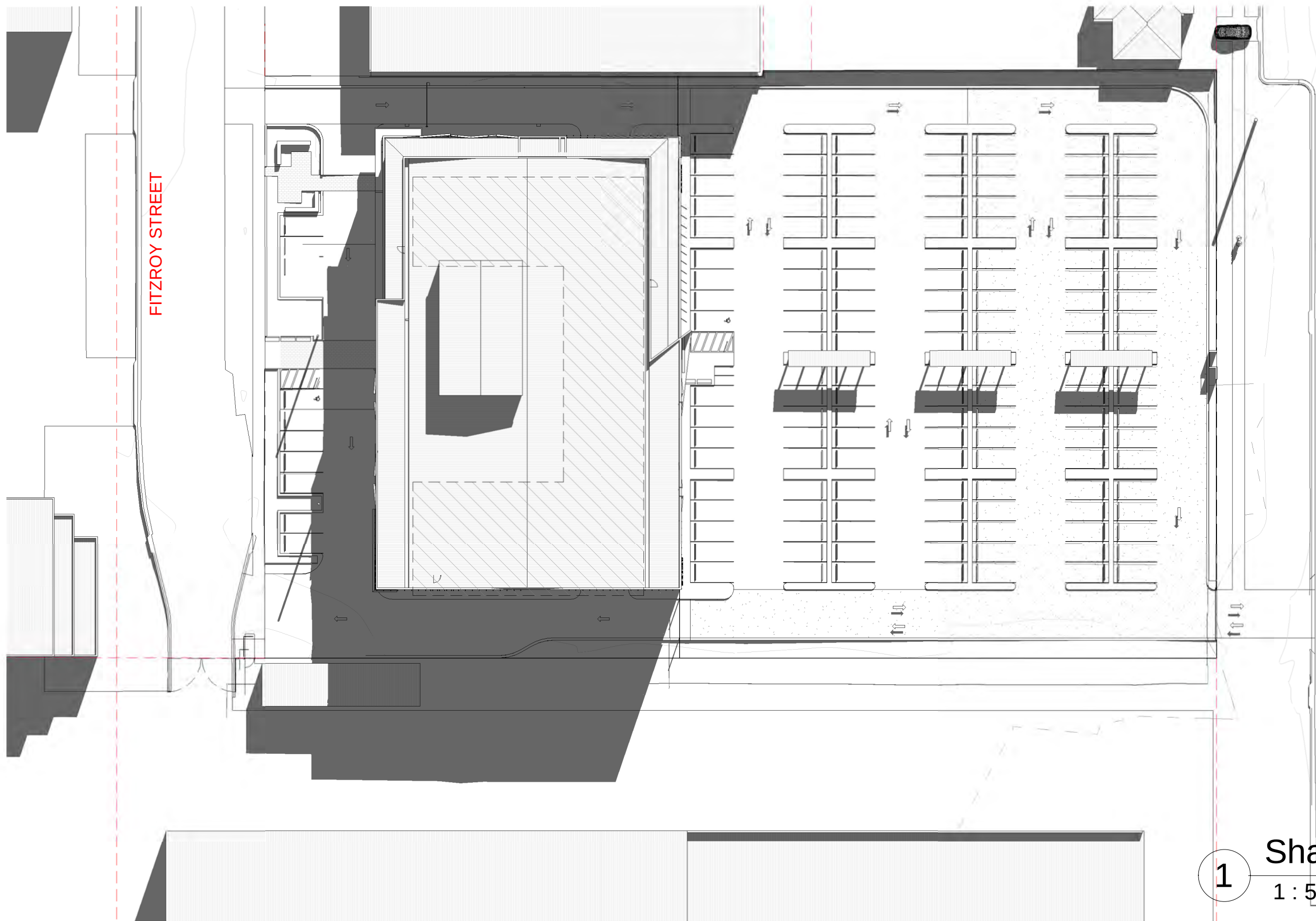
Shadow Diagrams - 21st June 0900

PORT OF NEWCASTLE

PROJECT NUMBER 2020-116
DATE SEPTEMBER 2021

STATUS DEVELOPED DESIGN @ A3
DRAWN BY BR
SCALE 1 : 500
REVISION O
DRAWING NO.

A800





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Approved Application No: DA 10689

Approved on: 2 February 2022

Signed: AW Sheet No: 20 of 33

1

Shadows - 1200

1 : 500

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Rev	Description	Date
K	Revised for Comment	04.03.2021
L	Issued for Coordination	08.03.2021
N	Issued for Planning Approval	23.04.2021
O	Revised for Planning	03.09.2021

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CONCEPT DESIGN

46 FITZROY ST, CARRINGTON - COMMERCIAL DEVELOPMENT

Shadow Diagrams - 21st June 1200

PORT OF NEWCASTLE

PROJECT NUMBER 2020-116

DATE SEPTEMBER 2021

STATUS DEVELOPED DESIGN @ A3

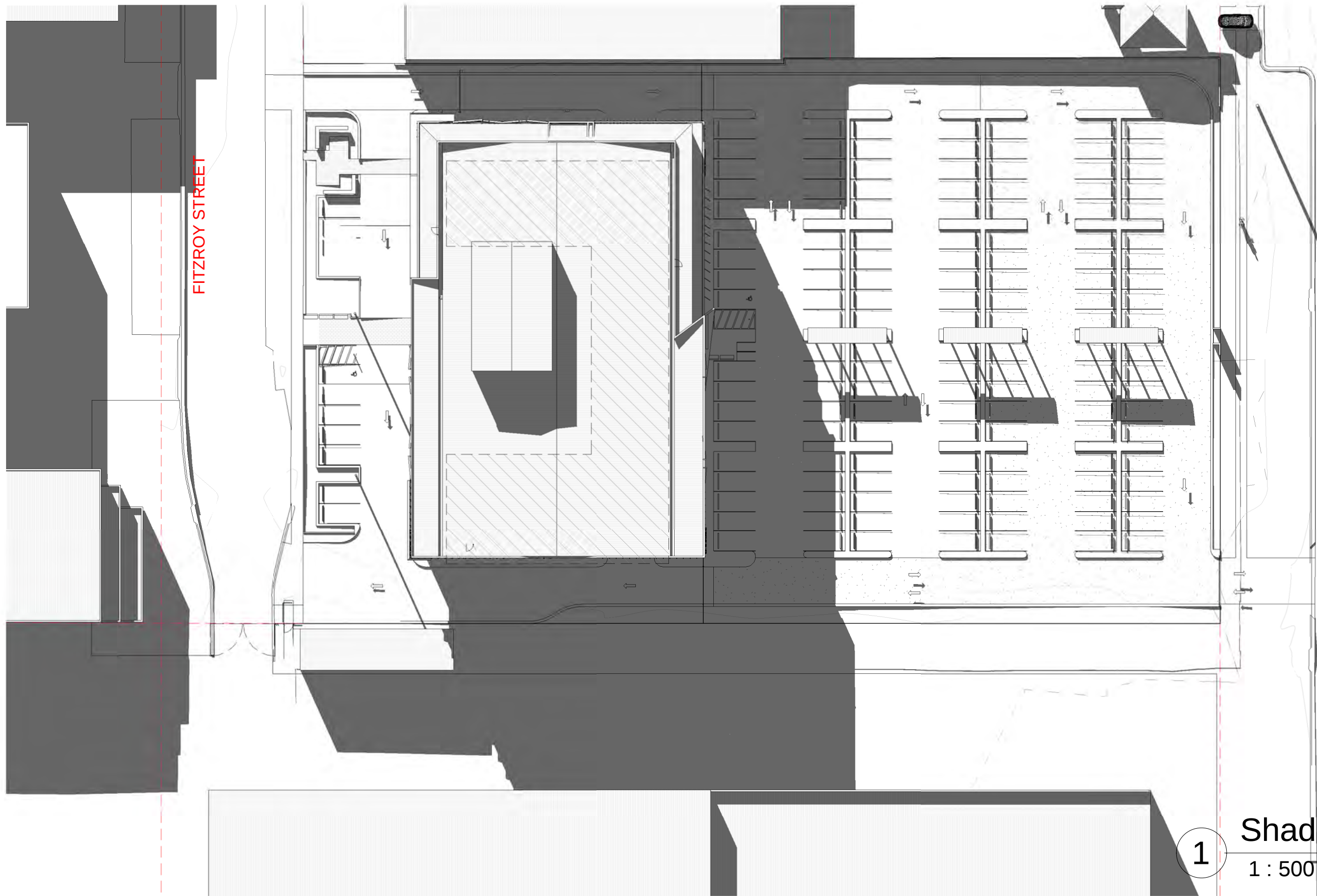
DRAWN BY BR

SCALE 1 : 500

REVISION O

DRAWING NO.

A801



DENISON STREET

FITZROY STREET



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Approved Application No: DA 10689
Approved on: 2 February 2022
Signed: AW Sheet No: 21 of 33

1

Shadows - 1500

1 : 500

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Rev	Description	Date
K	Revised for Comment	04.03.2021
L	Issued for Coordination	08.03.2021
N	Issued for Planning Approval	23.04.2021
O	Revised for Planning	03.09.2021

CLIENT



TEAM



RAINSFORD ARCHITECTURE + DESIGN



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ABN 70 619 983 023

CONCEPT DESIGN

46 FITZROY ST, CARRINGTON - COMMERCIAL DEVELOPMENT

Shadow Diagrams - 21st June 1500

PORT OF NEWCASTLE

PROJECT NUMBER 2020-116

DATE SEPTEMBER 2021

STATUS DEVELOPED DESIGN @ A3

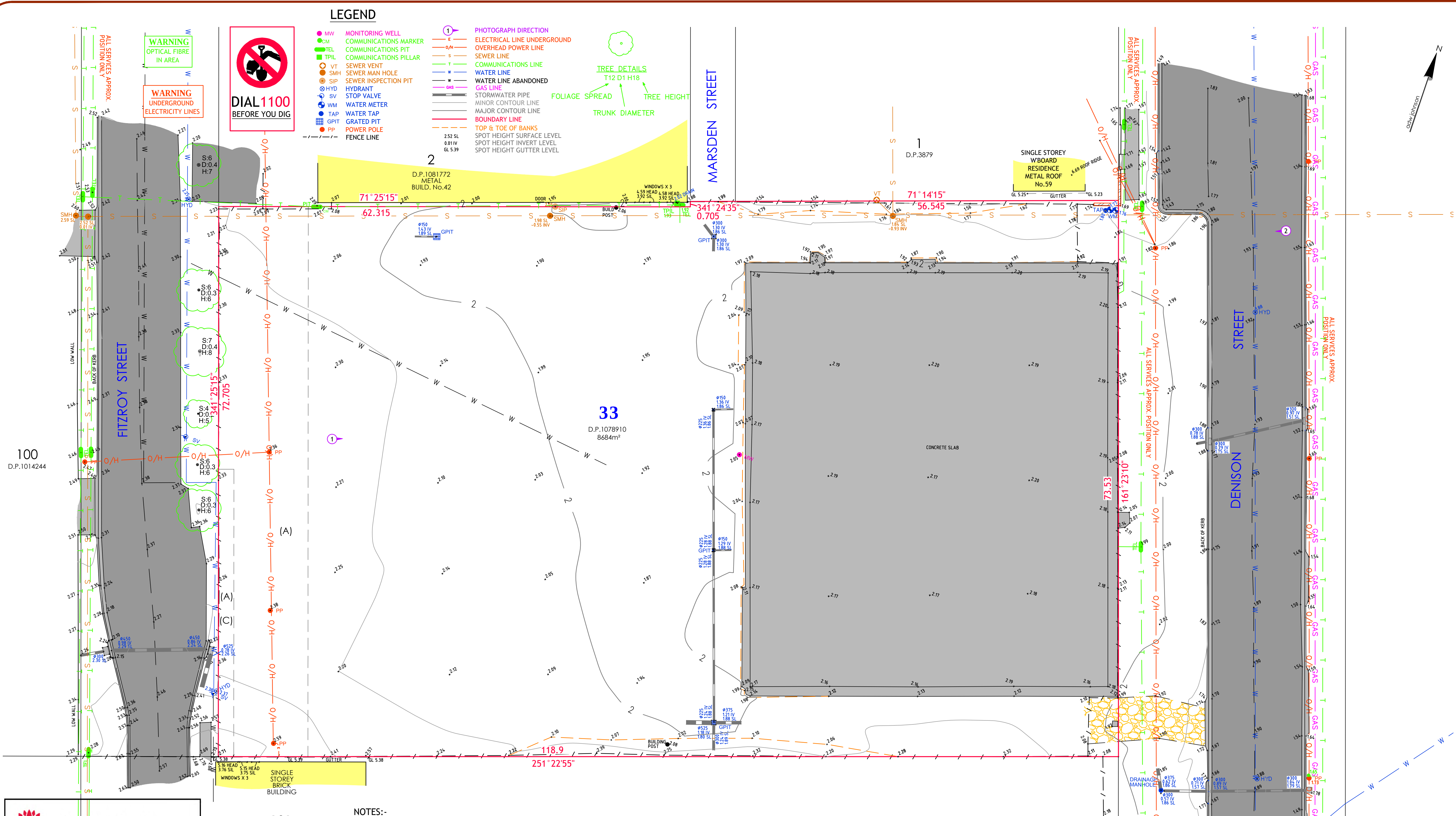
DRAWN BY BR

SCALE 1 : 500

REVISION O

DRAWING NO.

A802



Department of Planning and Environment
 NSW GOVERNMENT
 Issued under the Environmental Planning and Assessment Act 1979
 Approved Application No: DA 106689
 Approved on: 2 February 2022
 Signed: AW Sheet No: 22 of 33

(A) RESTRICTION ON THE USE OF LAND AND EASEMENT FOR TRANSMISSION LINE 11.8 WIDE (D.P. 1066649)
 (C) RESTRICTION ON THE USE OF LAND 2 WIDE (D.P. 1066649)

NOTES:-

- BOUNDARIES HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY, AND HAVE NOT BEEN SURVEYED. ALL BEARINGS, DIMENSIONS, AREAS AND EASEMENTS ARE SUBJECT TO FINAL SURVEY.
- SERVICES HAVE BEEN LOCATED WHERE VISIBLE ONLY. PRIOR TO EXCAVATION OR CONSTRUCTION ALL SERVICES ARE TO BE LOCATED BY THE RELEVANT AUTHORITY.
- SPOT LEVELS AND CONTOURS SHOWN HEREON ARE FOR DESIGN PURPOSES ONLY AND ARE TO BE CONFIRMED ON SITE PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- THIS PLAN HAS BEEN PREPARED FOR THE PURPOSE OF DETAIL SURVEY AND SHOULD NOT BE USED FOR ANYTHING OTHER THAN THAT PURPOSE.
- THE BOUNDARIES DEPICTED ON THIS PLAN HAVE BEEN DEFINED FOR DETAIL PLAN PURPOSES ONLY IN ACCORDANCE WITH CLAUSE 9 OF THE SURVEY AND SPATIAL INFORMATION REGULATION 2017. THE BOUNDARIES HAVE BEEN DEFINED BY PARTIAL SURVEY AND EXISTING PLAN AND TITLE DIMENSIONS WHERE POSSIBLE. WHILST EVERY CARE HAS BEEN TAKEN TO ENSURE THE ACCURACY OF THE SURVEY SUITS THE REQUIRED PURPOSE, A MORE COMPREHENSIVE SURVEY MAY RESULT IN DIFFERENCES IN THE DEFINITION OF THE SUBJECT BOUNDARIES. NO RESPONSIBILITY CAN BE ACCEPTED FOR ANY FUTURE DIFFERENCE IN BOUNDARY LOCATION WHICH MIGHT RESULT FROM RE-SURVEY OF SUBJECT OR ADJOINING LANDS OR FROM SUBSEQUENT REGISTRATION OF NEW SURVEY INFORMATION.

SURVEYOR REGISTERED UNDER THE SURVEYING AND SPATIAL INFORMATION ACT 2002, AS AMENDED

ver.	date	comment	surveyed	drawn	checked	pm	co-ordinate information	level information	scale (A1 original size)	page
A	22.10.20	INITIAL ISSUE	LC	MC	LC	TC	CO-ORDINATE SYSTEM: MGA 56 ORIGIN OF CO-ORDINATES: PM 13448 DATE OF SURVEY: 15.10.20 MGA GDA94	DATUM: AHD ORIGIN OF LEVELS: PM 13448 CONTOUR INTERVAL: 0.2m	0 5.0 10.0 12.5m SCALE: 1:250 (FULL)	1 OF 1

• project management • civil engineering • infrastructure • superintendency • economic analysis • social impact • town planning • surveying • development feasibility • visualisation • urban design



PHOTOGRAPH 1



PHOTOGRAPH 2

drawing title:

PLAN OF DETAIL
 SURVEY OF LOT 33
 DP1078910

location: 46 FITZROY STREET
 CARRINGTON

council: NEWCASTLE

dwg ref: 239553-DET-001-A

client:

PORT OF
 NEWCASTLE



central coast office ph: (02) 4305 4300
 hunter office ph: (02) 4978 5100
 sydney office ph: (02) 8046 7411

www.adwjohanson.com.au

PROPOSAL

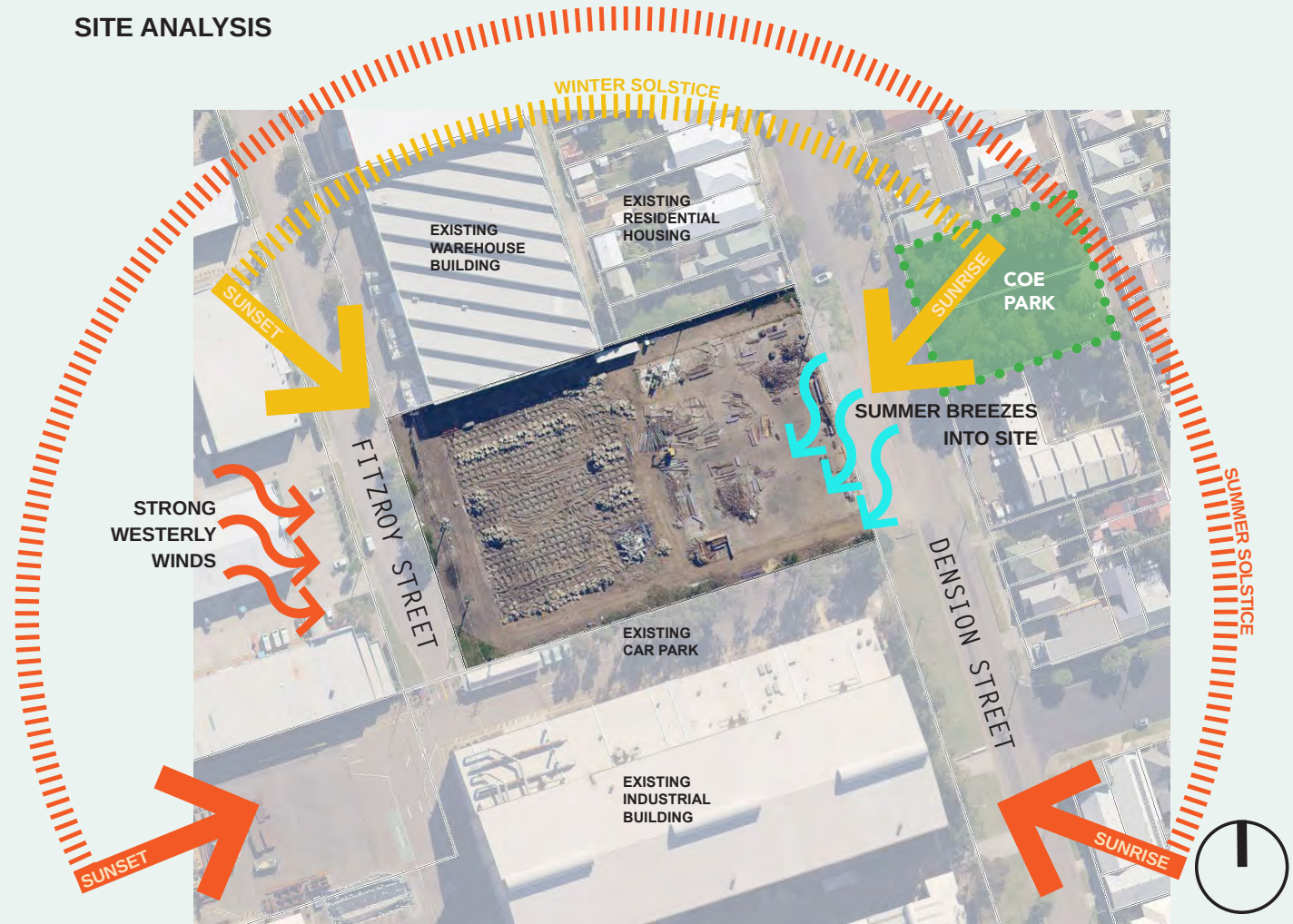
The project proposes to develop a commercial building, on a currently vacant lot within the Newcastle Port Marine Precinct in Carrington. The landscape documentation attached is in support of the Development Application.

THE SITE

The project site ('the site') forms a regular rectangular shape, which spans east-west between Fitzroy and Denison Streets. The land has been predominantly cleared and could be generally considered topographically flat. Land use on the northern boundary consists of a warehouse-style building and single-storey residential. An open car park bounds the southern boundary, which is associated with an adjacent industrial building. Existing trees line the southern boundary fence line, which should be retained where possible. The proposal will need to consider incorporation of additional vegetation along these boundaries to improve the amenity of the site.

Existing vegetation within the site has been primarily cleared to support its historical use. Existing trees along the perimeter of the site have been assessed (refer Arborist Report for further detailed assessment), with recommendations adopted into the landscape plans. Historic use of the site would suggest that the soil has most likely been disturbed over time, which indicates that amelioration prior to any landscape works would be beneficial.

SITE ANALYSIS



PROPOSED LANDSCAPE APPROACH

Landscaping has been incorporated into the development on the ground plane and also into the upper levels of the building. The following Landscape Plans comprise the set:

- Ground Floor Plan: incorporates deep soil planting, within the car park area surrounding the building, to allow for tree planting that will provide visual interest and aid in softening the bulk and scale of the development. Low level mass planted beds beneath are proposed to ensure a consistent verdant buffer, whilst allowing for clear sight lines for passive visual surveillance, in accordance with crime prevention through environmental design (CPTED) principles. The plan proposes for new street tree planting to improve street-scape amenity. Along the Denison Street frontage, the landscape treatment aims to provide a simple, attractive, shade providing area which is visually an extension of Coe Park, creating a valuable green space for workers and the community alike.
- Levels One, Two and Three: Raised garden beds on each of these levels are proposed to be mass planted with hardy, low maintenance species to improve the greening outcome for the development and increase amenity for those looking from the interior of this building outside, and will also aid in softening the building as viewed by the wider community from the adjacent streets.

The existing site characteristics have been considered and inform the following general principles of the landscape plan:

- Utilise a planting palette of proven performing plants which are hardy and are easily managed and maintained;
- Provide sufficient soil depths, within the constraints of the site and within the proposed raised planters on the upper levels, to support the proposed planting which will increase amenity and reduce the bulk and scale of the development;
- Incorporate a diverse planting palette, utilising several species for each application, to ensure variation and allow for a consistent level of amenity in the instance one species under-performs.

MAINTENANCE

The maintenance requirements for any landscape to succeed is integral to the resolution of the design at the planning stage. In consideration of this, the proposal seeks to strike a balance between the desire to provide maximum planted areas to achieve a verdant healthy space with the need to ensure that these plantings have longevity within a low-maintenance environment. The chosen plant palette for this project consists of a robust palette of proven performing plants which are tolerant of low water conditions and ambient light levels (on the upper floor levels).



Existing street trees to be retained.
Road reserve to be left in a smooth
condition, free of ruts, dips, mounds,
rubbish, rocks etc.. and turfed as required.

Acmena smithii 'Cherry Surprise' hedge
along the boundary to visually soften
driveway access.

Northern boundary to be lined with
Waterhousia 'Green Avenue' trees with
low mass planting beneath of native grass
and shrub mix. Refer Planting Schedule for
details.

Buckinghamia celsissima trees proposed to
be planted along the Denison Street verge
in accordance with Council's Street Tree
Technical Detail.

LEGEND

- Property boundary line
- Turf (existing)
- Existing street trees
- Proposed Furniture
Refer Architect's Plans
- Concrete pavement
Refer Engineers' Plans

DENISON STREET
Refer Planting Schedule (Page 04)

Buckinghamia celsissima

NEW TREES
Refer Planting Schedule (Page 04)

- Backhousia citrifolia*
- Cupaniopsis anacardioides*
- Eucalyptus sideroxylon* 'Rosea'
- Brachychiton acerifolius*
- Elaeocarpus reticulatus*
- Tristanopsis 'Luscious'*
- Waterhousia floribunda* 'Green Avenue'
- Xanthostemon chrysanthus*

MASS PLANTING
Refer Planting Schedule (Page 04)

- Acmena smithii* 'Cherry Surprise'
- Doryanthes excelsa*
- Philodendron xanadu*
- Boundary Planting Mix
- Median Planting Mix 1
- Median Planting Mix 2
- Median Planting Mix 3
- Planter Box Mix
- Hardenbergia violaceae*
- Grevillea 'Royal Mantle'*
- Liriope / Phormium*
- Lomandra longifolia* 'Lime Tuff'
- Pennisetum alopecuroides* 'Nafray'

Xanthostemon trees proposed for their
impressive floral display as entry feature.

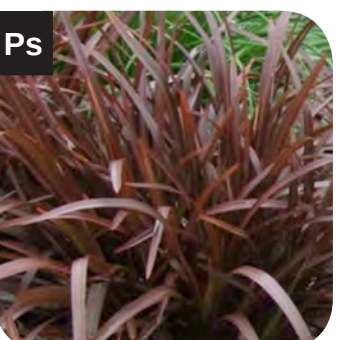
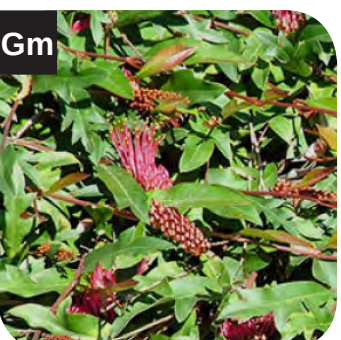
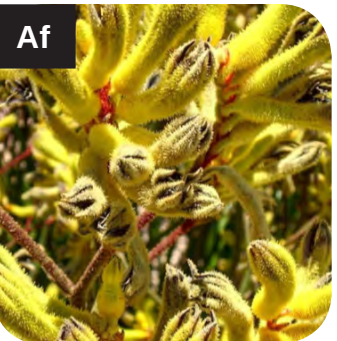
Existing trees along the southern boundary
to be retained and protected. Refer to
Arborist's Report for further details.

2.5m planting bed proposed along the
southern boundary, to be planted with
Blueberry Ash and Water Gum trees and
mass planted beneath with a mix of native
grasses and shrubs. Refer to the Plant
Schedule for details.

Backhousia and *Cupaniopsis* shade trees
proposed to be planted within the blisters to
enhance the amenity of the car park area.
Low mass planting beneath of hardy, low
maintenance species to ensure sight lines
are maintained.
Refer Planting Schedule for details.

PLANTING SCHEDULE

Key	Botanical Name	Common Name	Pot Size	Mature Height	Mature Width	Density	Comment
DENISON STREET TREES							
A	<i>Buckinghamia celsissima</i>	Ivory Curl Tree	75L	8m	6m	As shown	As per Council technical details
TREES							
B	<i>Backhousia citriodora</i>	Lemon Myrtle	45L	8m	4m	As shown	Stakes and ties
F	<i>Brachychiton acerifolius</i>	Illawarra Flame Tree	45L	12m	6m	As shown	Stakes and ties
C	<i>Cupaniopsis anacardioides</i>	Tuckeroo	45L	8m	5m	As shown	Stakes and ties
R	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	45L	9m	4m	As shown	Stakes and ties
E	<i>Eucalyptus sideroxylon</i> 'Rosea'	Red Iron Bark	45L	10m	8m	As shown	Stakes and ties
T	<i>Tristaniopsis laurina</i> 'Luscious'	Water Gum	45L	9m	4m	As shown	Stakes and ties
X	<i>Xanthostemon chrysanthus</i>	Golden Penda	45L	10m	6m	As shown	Stakes and ties
TALL SCREENING SHRUB							
As	<i>Acmena smithii</i> 'Cherry Surprise'	Cherry Surprise	200mm	3m	1.5	1/m2	
ACCENT PLANTING							
De	<i>Doryanthes excelsa</i>	Gynea Lily	200mm	2m	2m	As shown	
Px	<i>Philodendron xanadu</i>	Xanadu	140mm	1m	1m	As shown	
BOUNDARY PLANTING (BP)							
Ca	<i>Chrysocephalum apiculatum</i>	Yellow Buttons	Tube	0.6m	0.9m	4/m2	Plant in species groups of 3-5 in a staggered pattern
Co	<i>Correa alba</i>	Native Fuschia	Tube	1.5m	1.5m		
Hv	<i>Hardenbergia violaceae</i> 'Snow White'	False sarsparilla	Tube	1m	2m		
Lo	<i>Lomandra longifolia</i>	Matt Rush	Tube	1.2m	1.2m		
Rs	<i>Rhagodia spinescens</i>	Aussie Flat Bush	Tube	1m	1m		
Wf	<i>Westringia fruticosa</i>	Coastal Rosemary	Tube	2m	1m		
PLANTER BOX MIX							
Af	<i>Anigozanthus flavidus</i>	Kangaroo Paw	140mm	0.5m	0.8m	2/m2	
Ro	<i>Rosmarinus officinalis</i>	Rosemary Trailing	140mm	0.5m	2.0m		
MEDIAN PLANTING MIX 1							
Ad	<i>Alternanthera dentata</i> 'Little Ruby'	Little Ruby	140mm	0.9m	0.4m	2/m2	
Nd	<i>Nandina domestica alba</i> 'Lemon Lime'	Sacred Bamboo	140mm	0.9m	0.9m	2/m2	
MEDIAN PLANTING MIX 2							
DI	<i>Dianella caerulea</i> 'Little Jess'	Blue Flax Lily	140mm	0.5m	0.5m	2/m2	
Dg	<i>Dietes grandiflora</i>	Dietes	140mm	0.8m	1.0m		
LI	<i>Lomandra longifolia</i> 'Lime Tuff'	Lime Tuff	140mm	0.4m	0.5m		
Ls	<i>Liriope</i> 'Stripey White'	Stripey White	140mm	0.5m	0.5m		
Px	<i>Philodendron xanadu</i>	Dwarf Philodendron	140mm	1.0m	1.0m		
Tt	<i>Trachelospermum jasminoides</i> 'Tricolour'	Tricolour Jasmine	140mm	0.5m	2.0m		
MEDIAN PLANTING MIX 3							
Mp	<i>Myoporum parvifolium</i>	Creeping boobialla	140mm	0.3m	3m	2/m2	
Pt	<i>Phormium tenax</i> 'Jester'	New Zealand Flax	140mm	1m	1m		
Wm	<i>Westringia fruticosa</i> 'Mundi'	Dwarf Coast Rosemary	140mm	0.5m	1.5m		
FITZROY STREET							
Gm	<i>Grevillea</i> 'Royal Mantle'	Royal Mantle	140mm	0.5m	4m	1/m2	
LI	<i>Lomandra longifolia</i> 'Lime Tuff'	Lime Tuff	140mm	0.4m	0.5m		
Pn	<i>Pennisetum alopecuroides</i> 'Nafray'	Nafray	140mm	0.6m	0.6m		



L03 Plant Schedule



Department of Planning
and Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: DA 10689

Approved on: 2 February 2022

Signed: AW Sheet No: 25 of 33

46 FITZROY STREET,
CARRINGTON, NSW

DATE:
AUGUST 2021

CLIENT:
PORT OF NEWCASTLE

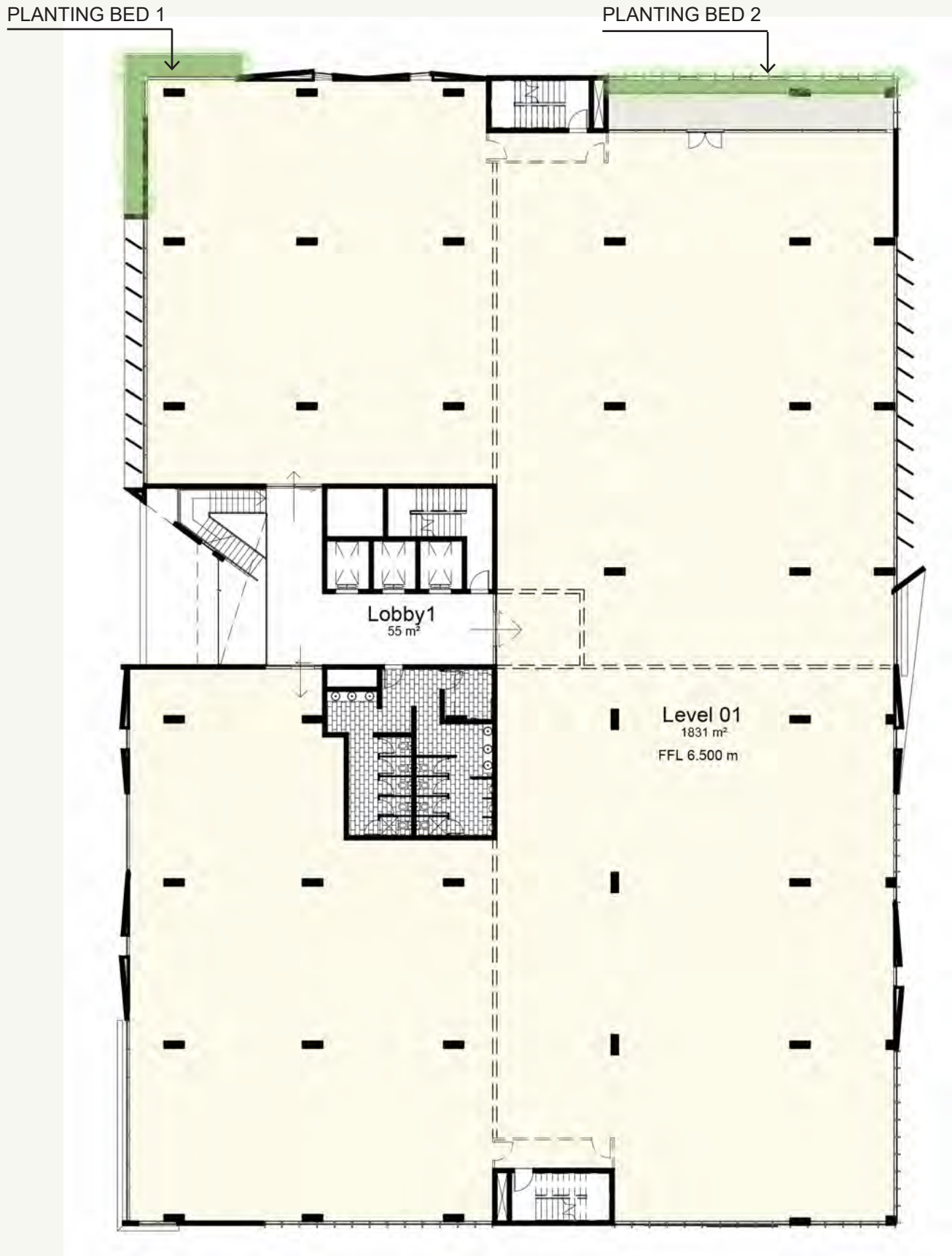
PROJECT NO.
GSP200196 - DA

ISSUE:
C - FOR SUBMISSION

GREEN SPACE PLANNING Co.
3/19 BOLTON STREET NEWCASTLE NSW 2300
PH 0423 684 382



LANDSCAPE PLAN



 Department of Planning and Environment
Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: DA 10689
Approved on: 2 February 2022
Signed: AW Sheet No: 26 of 33



SCALE 1:250 @ A3

PLANTING SCHEDULE

Key	Botanical Name	Common Name	Pot Size	Mature Height	Mature Width
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PLANTING BED 1

Am	<i>Aloe 'Moonglow'</i>	Aloe Moonglow	200mm	0.8m	0.5m
Px	<i>Philodendron 'Xanadu'</i>	Philodendron Xanadu	140mm	1.0m	1.0m
Re	<i>Russelia equisetiformis</i>	Firecracker Plant	140mm	1.0m	1.0m
D	<i>Dichondra argenta</i>	Silver Falls	140mm	0.10m	1.0m
S	<i>Senecio serpens</i>	Chalk Sticks	140mm	0.25m	1.0m

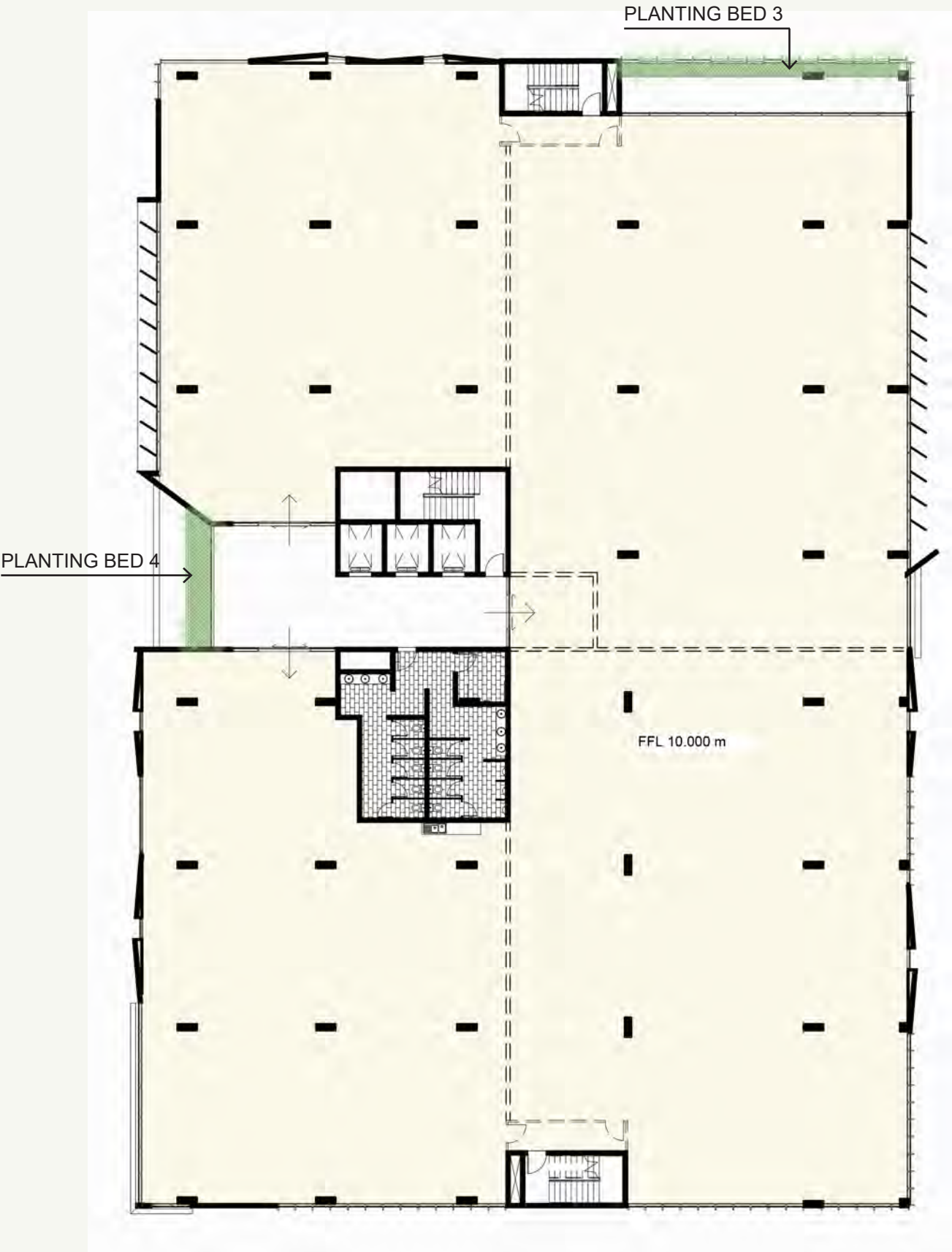


Key	Botanical Name	Common Name	Pot Size	Mature Height	Mature Width
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PLANTING BED 2

Ab	<i>Agave attenuata 'Blue Glow'</i>	Agave Blue Glow	140mm	0.6m	0.6m
Ad	<i>Asparagus densiflorus 'Myersii'</i>	Foxtail Fern	140mm	0.8m	0.8m
Kh	<i>Kalachoe tomentosa</i>	Panda Plant	140mm	0.6m	0.6m
Re	<i>Russelia equisetiformis</i>	Firecracker Plant	140mm	1.0m	1.0m
S	<i>Senecio serpens</i>	Chalk Sticks	140mm	0.25m	1.0m
Wj	<i>Westringia fruticosa 'Jervis Gem'</i>	Jervis Gem	140mm	1.5m	1.0m





 Department of Planning and Environment
Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: DA 10689
Approved on: 2 February 2022
Signed: AW Sheet No: 27 of 33



SCALE 1:250 @ A3

PLANTING SCHEDULE

Key	Botanical Name	Common Name	Pot Size	Mature Height	Mature Width
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PLANTING BED 3

Ab	<i>Agave attenuata</i> 'Blue Glow'	Agave Blue Glow	140mm	0.6m	0.6m
Ad	<i>Asparagus densiflorus</i> 'Myersii'	Foxtail Fern	140mm	0.8m	0.8m
Kh	<i>Kalachoe tomentosa</i>	Panda Plant	140mm	0.6m	0.6m
Re	<i>Russelia equisetiformis</i>	Firecracker Plant	140mm	1.0m	1.0m
S	<i>Senecio serpens</i>	Chalk Sticks	140mm	0.25m	1.0m
Wj	<i>Westringia fruticosa</i> 'Jervis Gem'	Jervis Gem	140mm	1.5m	1.0m



Key	Botanical Name	Common Name	Pot Size	Mature Height	Mature Width
-----	----------------	-------------	----------	---------------	--------------

PLANTING BED 4

Cg	<i>Casuarina glauca</i> 'Cousin It'	Cousin It	140mm	0.3m	1.5m
Ts	<i>Tradescantia spathacea</i>	Rhoeo	140mm	0.5m	0.25m
Zf	<i>Zamia furfuracea</i>	Cardboard Palm	140mm	1.0m	1.5m



LANDSCAPE PLAN



PLANTING SCHEDULE

Key	Botanical Name	Common Name	Pot Size	Mature Height	Mature Width
-----	----------------	-------------	----------	---------------	--------------

PLANTING BED 5

Ar	<i>Anigozanthus 'Ruby Velvet'</i>	Kangaroo Paw	Tube	0.4m	0.4m
Cr	<i>Carpobrotus rossii</i>	Karkalla	Tube	0.2m	0.2m
Cc	<i>Crassula capitella 'Campfire'</i>	Campfire	Tube	0.2m	1.0m
Li	<i>Lomandra longifolia 'Tanika'</i>	Lomandra cultivar	Tube	0.7m	0.7m
Pp	<i>Poa poiformis 'Courtney'</i>	Blue Tussock Grass	Tube	0.5m	0.5m
Sp	<i>Sedum palmeri</i>	Sedum	Tube	0.5m	0.2m



Key	Botanical Name	Common Name	Pot Size	Mature Height	Mature Width
-----	----------------	-------------	----------	---------------	--------------

PLANTING BED 6

Ab	<i>Agave attenuata 'Blue Glow'</i>	Agave Blue Glow	140mm	0.6m	0.6m
Dr	<i>Dianella revoluta</i>	Clarity Blue	140mm	1.0m	1.5m
Fg	<i>Festuca glauca</i>	Blue Grass	140mm	0.2m	0.2m
Gl	<i>Gaura lindheimeri</i>	Butterfly Bush	140mm	1.0m	1.0m
Ro	<i>Rosmarinus officinalis</i>	Rosemary Trailing	140mm	0.5m	2.0m
Sp	<i>Sedum palmeri</i>	Sedum	Tube	0.5m	0.2m



PLANTING BED 7

Cg	<i>Casuarina glauca 'Cousin It'</i>	Cousin It	140mm	0.3m	1.5m
Ts	<i>Tradescantia spathacea</i>	Rhoeo	140mm	0.5m	0.25m
Zf	<i>Zamia furfuracea</i>	Cardboard Palm	140mm	1.0m	1.5m

PLANTING BED 8

Co	<i>Crassula ovata 'Blue Bird'</i>	Blue Jade	140mm	1.0m	1.0m
D	<i>Dichondra argenta</i>	Silver Falls	140mm	0.10m	1.0m
Kh	<i>Kalachoe hildebrandtii</i>	Silver Spoons	140mm	0.4m	0.4m
Px	<i>Philodendron 'Xanadu'</i>	Philodendron Xanadu	140mm	1.0m	1.0m
Sc	<i>Santolina chamaecyparissus</i>	Lavender Cotton	140mm	0.6m	0.3m

**46 FITZROY STREET, CARRINGTON, NSW 2294
PROPOSED COMMERCIAL DEVELOPMENT**



IMAGE SOURCE : SIXMAPS

Department of Planning
and Environment

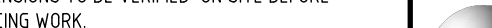
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Approved Application No: DA 10689

Approved on: 2 February 2022

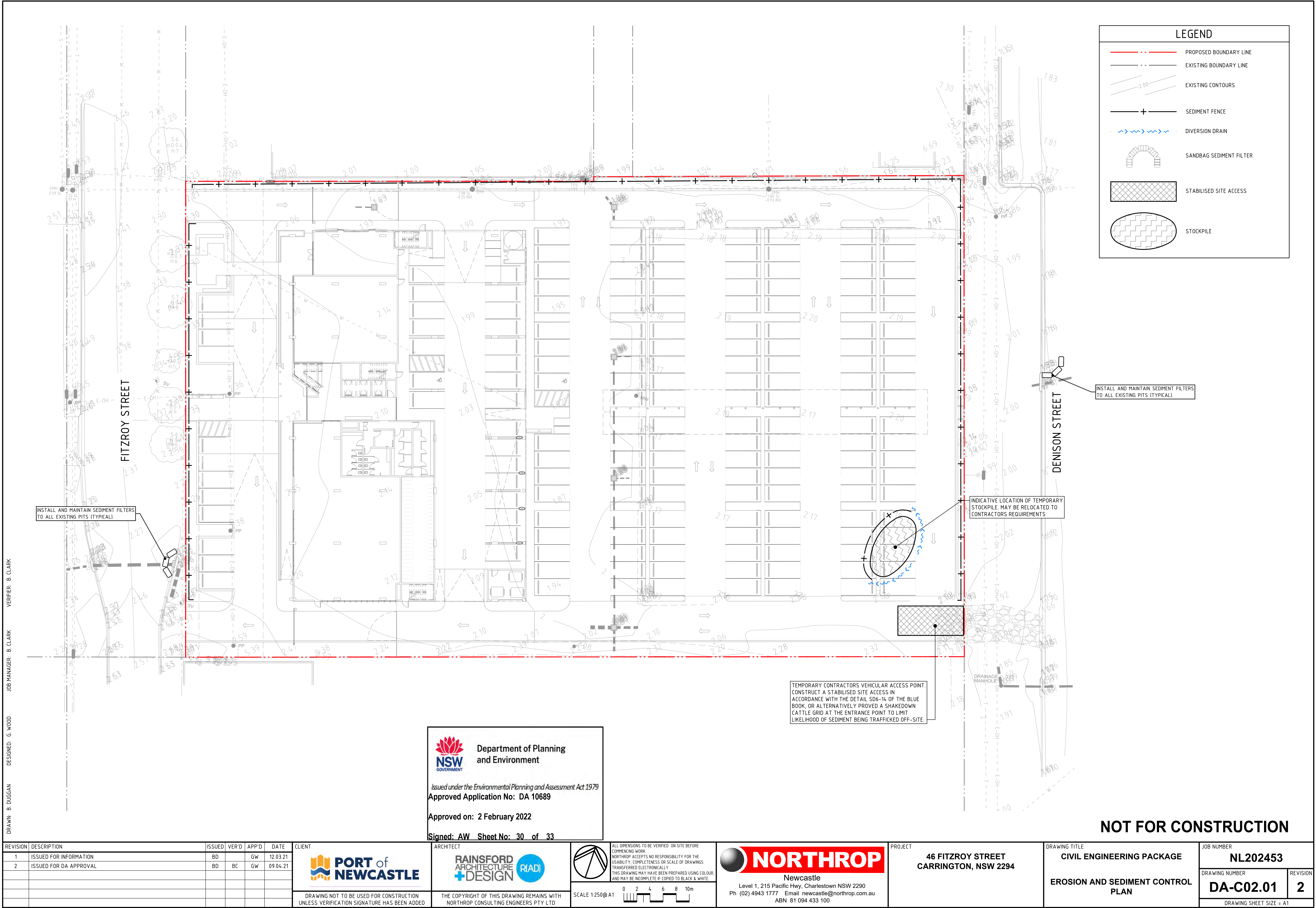
Signed: AW Sheet No: 29 of 33

DWG NO	DWG TITLE
DA-C01.01	COVER SHEET, DRAWING LIST AND LOCALITY PLAN
DA-C02.01	EROSION AND SEDIMENT CONTROL PLAN
DA-C02.02	EROSION AND SEDIMENT CONTROL DETAILS
DA-C04.01	CIVIL WORKS PLAN
DA-C09.01	CIVIL DETAILS

REVISION	DESCRIPTION	ISSUED	VER'D	APP'D	DATE	CLIENT	ARCHITECT		PROJECT	DRAWING TITLE	JOB NUMBER
1	ISSUED FOR INFORMATION	BD		GW	12.03.21	 DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS VERIFICATION SIGNATURE HAS BEEN ADDED	 THE COPYRIGHT OF THIS DRAWING REMAINS WITH NORTHROP CONSULTING ENGINEERS PTY LTD	 Level 1, 215 Pacific Hwy, Charlestown NSW 2290 Ph (02) 4943 1777 Email newcastle@northrop.com.au ABN 81 094 433 100	46 FITZROY STREET CARRINGTON, NSW 2294	CIVIL ENGINEERING PACKAGE COVER SHEET, DRAWING LIST AND LOCALITY PLAN	NL202453
2	ISSUED FOR DA APPROVAL	BD	BC	GW	09.04.21						
										DRAWING NUMBER DA-C01.01 REVISION 2	
											DRAWING SHEET SIZE - A1

NOT FOR CONSTRUCTION

DRAWN: B. DUGGAN DESIGNED: G. WOOD JOB MANAGER: B. CLARK VERIFIER: B. CLARK



LEGEND

- PROPOSED BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EXISTING CONTOURS
- SEDIMENT FENCE
- DIVERSION DRAIN
- SANDBAG SEDIMENT FILTER
- STABILISED SITE ACCESS
- STOCKPILE

INSTALL AND MAINTAIN SEDIMENT FILTERS TO ALL EXISTING PITS (TYPICAL).

INDICATIVE LOCATION OF TEMPORARY STOCKPILE. MAY BE RELOCATED TO CONTRACTORS REQUIREMENTS

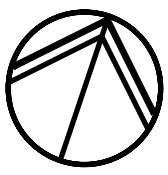
TEMPORARY CONTRACTORS VEHICULAR ACCESS POINT. CONSTRUCT A STABILISED SITE ACCESS IN ACCORDANCE WITH THE DETAIL SD6-14 OF THE BLUE BOOK, OR ALTERNATIVELY PROVED A SHAKEDOWN CATTLE GRID AT THE ENTRANCE POINT TO LIMIT LIKELIHOOD OF SEDIMENT BEING TRAFFICKED OFF-SITE.

 Department of Planning and Environment

Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: DA 10689

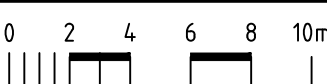
Approved on: 2 February 2022

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Newcastle
Level 1, 215 Pacific Hwy, Charlestown NSW 2290
Ph (02) 4943 1777 Email newcastle@northrop.com.au
ABN 81 094 433 100

PROJECT

46 FITZROY STREET
CARRINGTON, NSW 2294

DRAWING TITLE

CIVIL ENGINEERING PACKAGE
EROSION AND SEDIMENT CONTROL
PLAN

JOB NUMBER

NL202453

DRAWING NUMBER

DA-C02.01

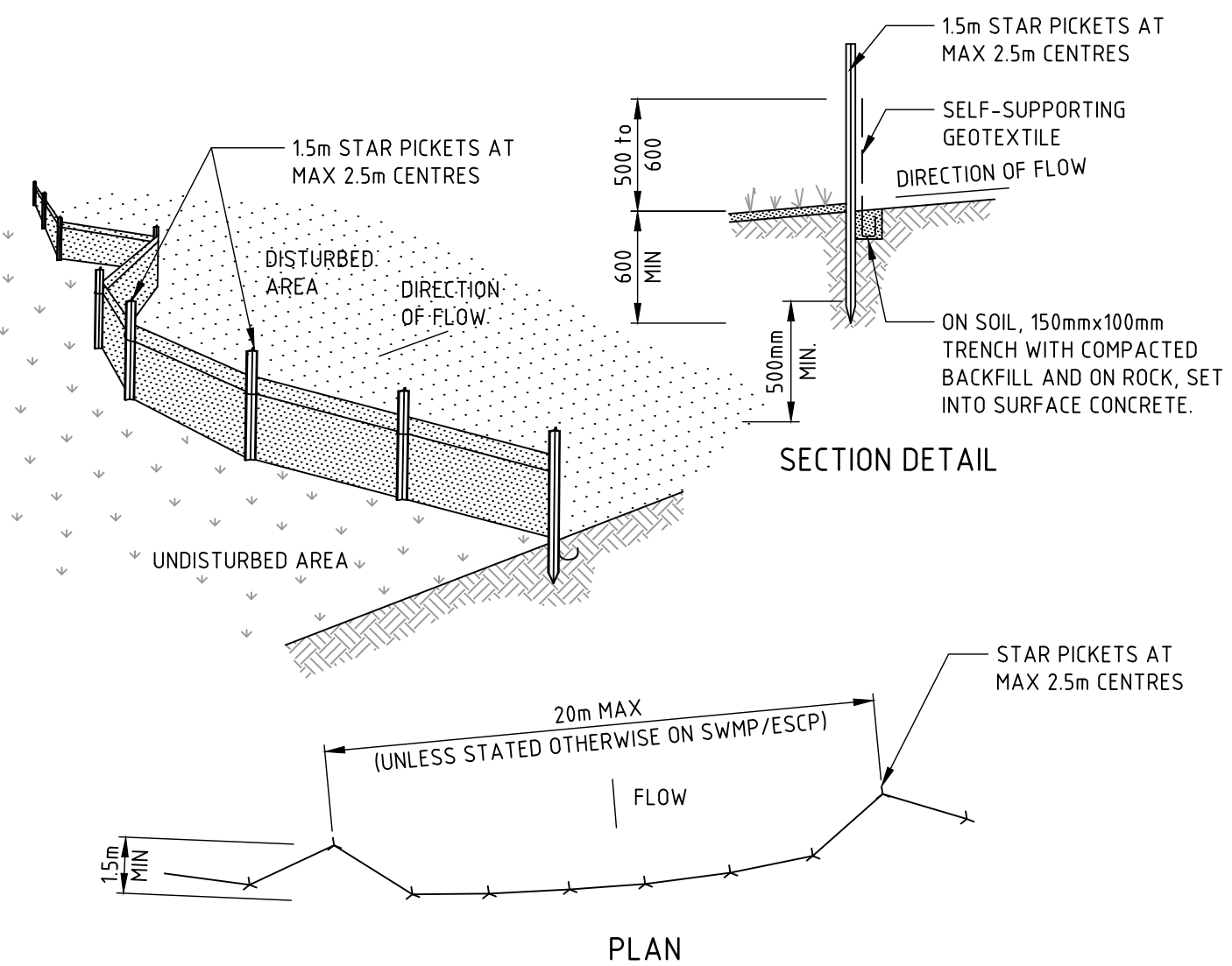
REVISION

2

DRAWING SHEET SIZE = A1

NOT FOR CONSTRUCTION

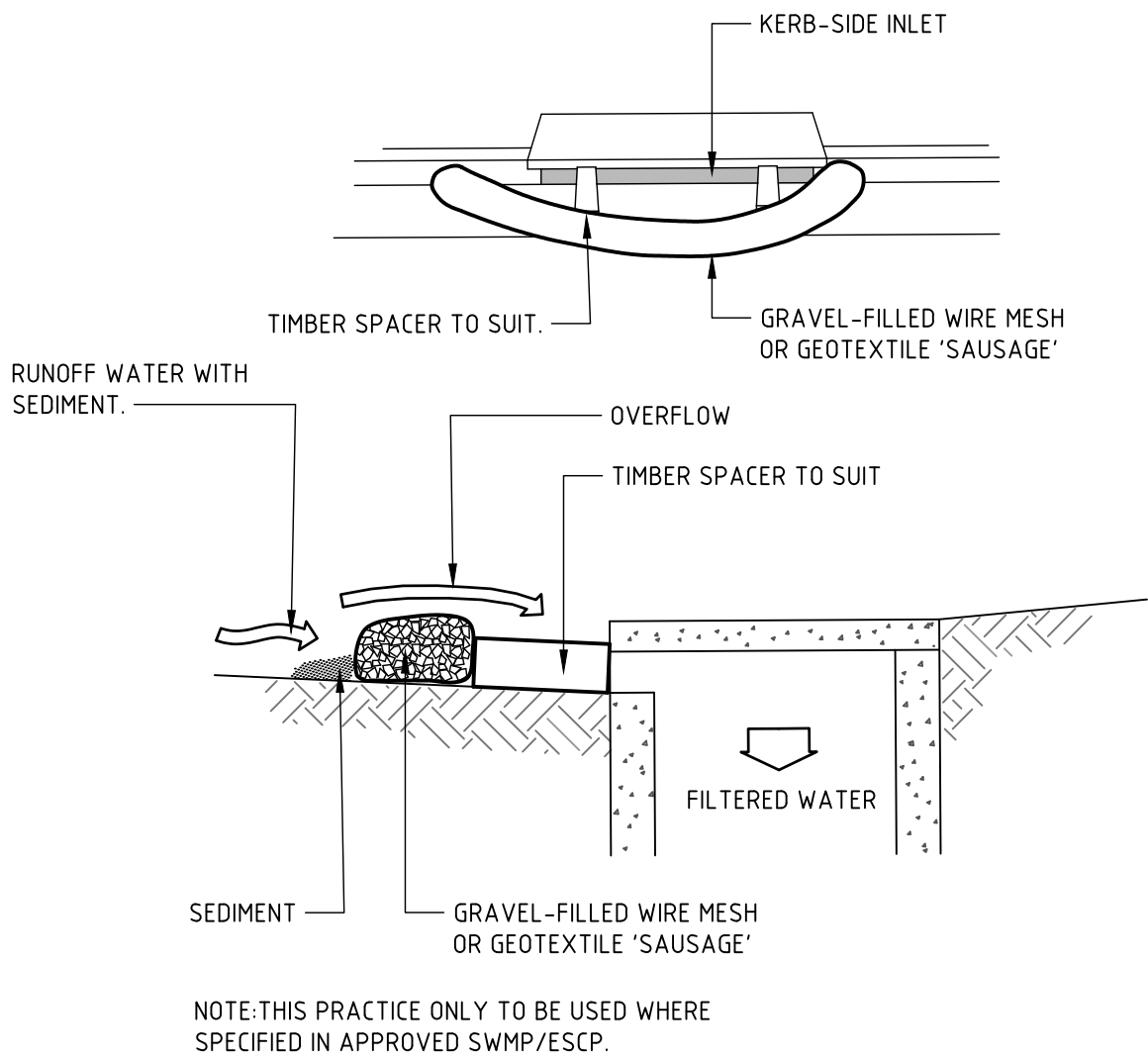
VERIFIER: B. CLARK
JOB MANAGER: B. CLARK
DESIGNED: G. WOOD
DRAWN: B. DUGGAN



CONSTRUCTION NOTES

1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 15 METRE LONG STAR PICKETS INTO GROUND AT 2.5 METRE INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

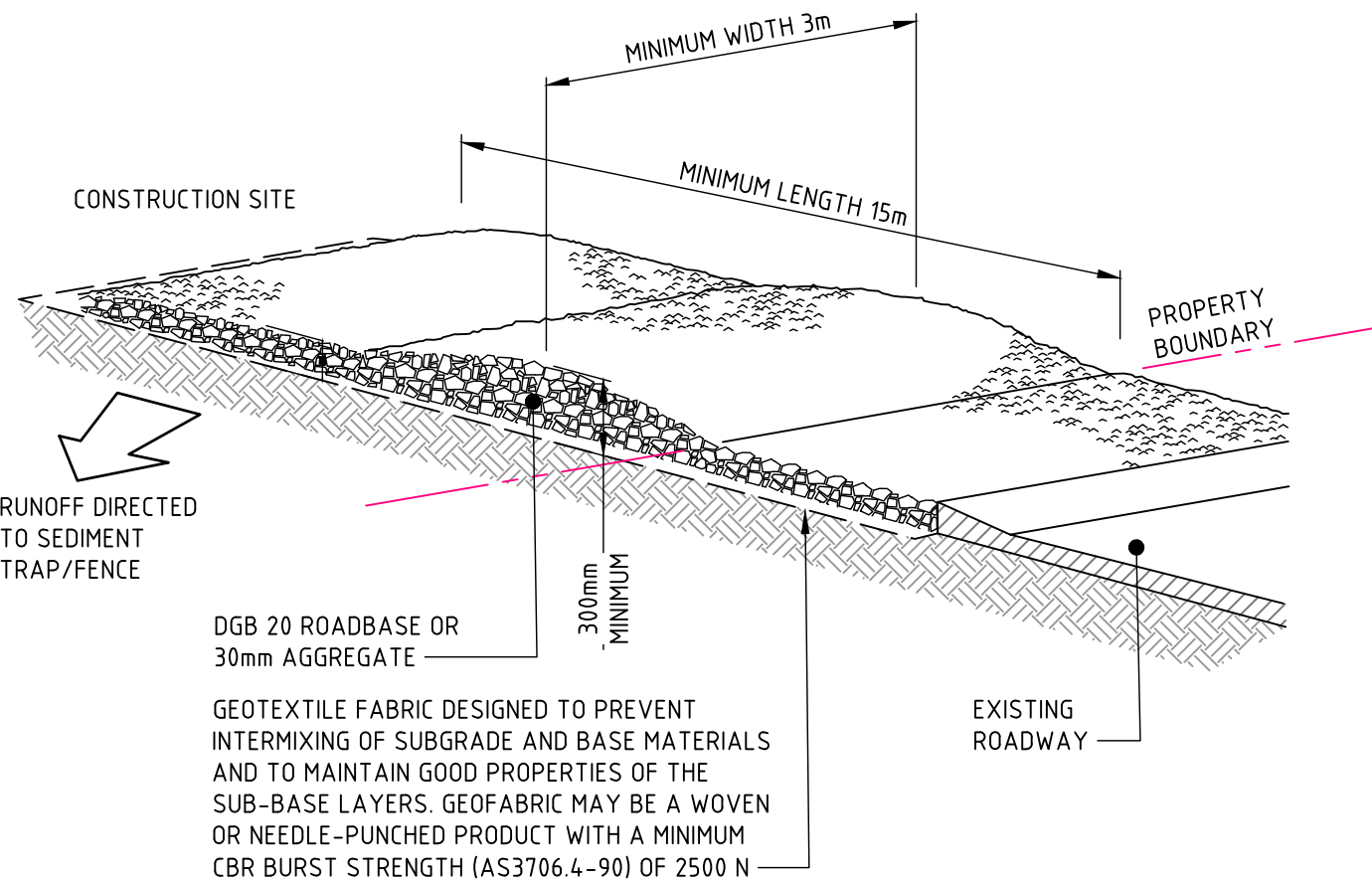
SEDIMENT FENCE (SD 6-8)



CONSTRUCTION NOTES

1. INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS.
2. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 50mm GRAVEL.
3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150mm HIGH x 400mm WIDE.
4. PLACE THE FILTER AT THE OPENING LEAVING AT LEAST A 100mm SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
5. FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
6. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.

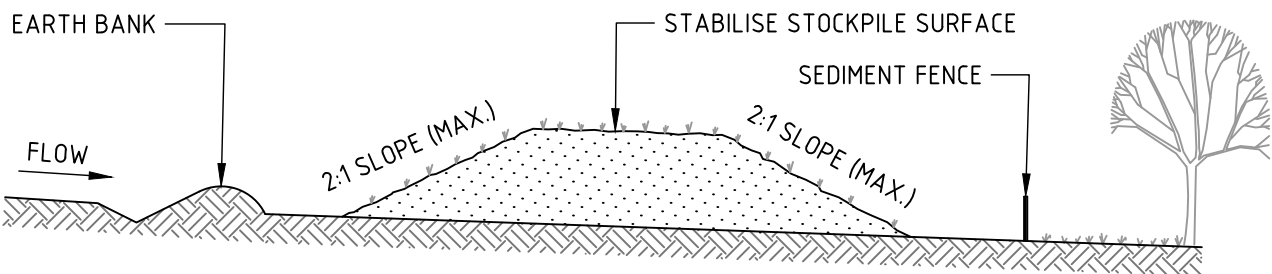
MESH AND GRAVEL INLET FILTER (SD 6-11)



CONSTRUCTION NOTES

1. STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE.
2. COVER THE AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
3. CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASE OR 30mm AGGREGATE.
4. ENSURE THE STRUCTURE IS AT LEAST 15 METRES LONG OR TO BUILDING ALIGNMENT AND AT LEAST 3 METRES WIDE.
5. WHERE A SEDIMENT FENCE JOINS ONTO THE STABILISED ACCESS, CONSTRUCT A HUMP IN THE STABILISED ACCESS TO DIVERT WATER TO THE SEDIMENT FENCE.

STABILISED SITE ACCESS (SD 6-14)



CONSTRUCTION NOTES

1. PLACE STOCKPILES MORE THAN 2m (PREFERABLY 5m) FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2m IN HEIGHT.
4. WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
5. CONSTRUCT EARTH BANKS (STANDARD DRAWING 5-5) ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES (STANDARD DRAWING 6-8) 1 TO 2m DOWNSLOPE.

STOCKPILES (SD 4-1)

EROSION AND SEDIMENTATION CONTROL NOTES:

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE APPROPRIATE FOR THE SEDIMENT TYPE(S) OF THE SOILS ON-SITE, IN ACCORDANCE WITH THE 'BLUE BOOK' (MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTION, LANDCOM, 2004), OR OTHER CURRENT RECOGNISED INDUSTRY STANDARDS FOR EROSION AND SEDIMENT CONTROL FOR AUSTRALIAN CONDITIONS. THIS INCLUDES SEDIMENT TRAPS AND LINING OF CHANNELS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING A DETAILED WRITTEN RECORD OF ALL EROSION AND SEDIMENT CONTROLS ON-SITE DURING THE CONSTRUCTION PERIOD. THIS RECORD SHALL BE UPDATED ON A DAILY BASIS AND SHALL CONTAIN DETAILS ON THE CONDITION OF CONTROLS AND ANY/ALL MAINTENANCE, CLEANING AND BREACHES. THIS RECORD SHALL BE KEPT ON-SITE AT ALL TIMES AND SHALL BE MADE AVAILABLE FOR INSPECTION BY THE PRINCIPAL CERTIFYING AUTHORITY AND THE SUPERINTENDENT DURING NORMAL WORKING HOURS.
3. INSTALL SEDIMENT PROTECTION FILTERS ON ALL NEW AND EXISTING STORMWATER INLET PITS IN ACCORDANCE WITH EITHER THE MESH AND GRAVEL INLET FILTER DETAIL SD6-11 OR THE GEOTEXTILE INLET FILTER DETAIL SD6-12 OF THE 'BLUE BOOK'.
4. ESTABLISH ALL REQUIRED SEDIMENT FENCES IN ACCORDANCE WITH DETAIL SD6-8 OF THE 'BLUE BOOK'.
5. INSTALL SEDIMENT FENCING, OR OTHER SEDIMENT CONTROL DEVICES, AROUND INDIVIDUAL BUILDING ZONES/AREAS AS REQUIRED AND AS DIRECTED BY THE SUPERINTENDENT OR APPROPRIATE COUNCIL OFFICER.
6. ALL TRENCHES INCLUDING ALL SERVICE TRENCHES AND SWALE EXCAVATION SHALL BE SIDE-CAST TO THE HIGH SIDE AND CLOSED AT THE END OF EACH DAYS WORK.
7. THE CONTRACTOR SHALL ENSURE THAT ALL VEGETATION (TREE, SHRUB AND GROUND COVER) WHICH IS TO BE RETAINED SHALL BE PROTECTED DURING THE DURATION OF CONSTRUCTION.
8. ALL VEGETATION TO BE REMOVED SHALL BE MULCHED ON-SITE AND SPREAD/STOCKPILED AS DIRECTED BY THE SUPERINTENDENT.
9. STRIP TOPSOIL IN AREAS DESIGNATED FOR STRIPPING AND STOCKPILE FOR RE-USE AS REQUIRED. ANY SURPLUS MATERIAL SHALL BE SPREAD ON-SITE AS DIRECTED BY THE SUPERINTENDENT OR REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH EPA GUIDELINES.
10. CONSTRUCT AND MAINTAIN ALL MATERIAL STOCKPILES IN ACCORDANCE WITH DETAIL SD4-1 OF THE 'BLUE BOOK' (INCLUDING CUT-OFF SWALES TO THE HIGH SIDE AND SEDIMENT FENCES TO THE LOW SIDE).
11. ENSURE STOCKPILES DO NOT EXCEED 2.0m HIGH. PROVIDE WIND AND RAIN EROSION PROTECTION AS REQUIRED IN ACCORDANCE WITH THE 'BLUE BOOK'.
12. PROVIDE WATER TRUCKS OR SPRINKLER DEVICES DURING CONSTRUCTION AS REQUIRED TO SUPPRESS DUST.
13. ONCE CUT/FILL OPERATIONS HAVE BEEN FINALIZED ALL DISTURBED AREAS THAT ARE NOT BEING WORKED ON SHALL BE RE-VEGETATED AS SOON AS IS PRACTICAL.



Department of Planning
and Environment

Issued under the *Environmental Planning and Assessment Act 1979*
Approved Application No: DA 10689

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Signed: AW Sheet No: 31 of 33

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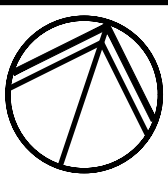
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1	ISSUED FOR INFORMATION	BD		GW	12.03.21
2	ISSUED FOR DA APPROVAL	BD	BC	GW	09.04.21



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DRAWING TITLE

CIVIL ENGINEERING PACKAGE

EROSION AND SEDIMENT CONTROL
DETAILS

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DRAWING NUMBER

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2

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